



**CITY OF ST. PETERSBURG, FLORIDA
PLANNING & DEVELOPMENT SERVICES DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION**

STAFF REPORT

DEVELOPMENT REVIEW COMMISSION - VARIANCE REQUEST PUBLIC HEARING

According to Planning & Development Services Department records, no Commission member or his or her spouse has a direct or indirect ownership interest in real property located within 2,000 linear feet of real property contained with the application (measured in a straight line between the nearest points on the property lines). All other possible conflicts should be declared upon the announcement of the item.

REPORT TO THE DEVELOPMENT REVIEW COMMISSION FROM DEVELOPMENT REVIEW SERVICES DIVISION, PLANNING & DEVELOPMENT SERVICES DEPARTMENT, for Public Hearing and Executive Action on **Wednesday, June 1, 2022 at 1:00 P.M.** at Council Chambers, City Hall, located at 175 5th Street North, St. Petersburg, Florida.

CASE NO.: 22-11000008

PLAT SHEET: B-34

REQUEST: Approval of a Lot Line Adjustment with variance to lot width to create two (2) buildable lots.

OWNER: Bayou Grande One, LLC
9355 Seminole Blvd.
Seminole, FL 33772

ADDRESS: 6201 Bayou Grande Blvd. NE

PARCEL ID NO.: 33-30-17-81234-001-0010

ZONING: Neighborhood Suburban – 1 (NS-1)

REQUEST: The applicant requests approval of Lot Line Adjustment with variance to lot width to create two (2) buildable lots.

	Required	Requested	Variance	Magnitude
Lot Width (Lot 1)	75 feet	65.05 feet	9.95 feet	13%
Lot Width (Lot 2)	75 feet	65.09 feet	9.91 feet	13%

BACKGROUND: The subject property consists of Lots 1, 2 and the southerly 5 feet of Lot 3 in the Bayou Grade Section of Shore Acres subdivision. The lots are currently combined under one Parcel ID Number and are vacant in the Neighborhood Suburban - 1 (NS-1) Zoning District (see Attachment A – Location Map and Attachment B - Plat).

The applicant proposes to create two (2) buildable lots that are each 65 feet wide; Lot 1 is 10,364 square feet and Lot 2 is 10,349 square feet in lot area (see attachment C – Legal Descriptions and Sketches). The applicant has submitted site plans, floor plans and façade sketches that depict houses that can be built on the lots and would comply with the setback and lot coverage standards of the NS-1 Zoning District (see Attachment D – Application).

REVIEW:

16.40.140.2.4.C – Standards for Review. In reviewing an application for a Lot Line Adjustment, the POD or Development Review Commission shall consider the following criteria:

1. Easements for public utilities including stormwater drainage shall be provided as required. The applicant shall pay any costs of utility adjustments, extensions, relocations and connections.
 - No easements are required. Engineering conditions contained in the Engineering Review Memo dated May 5, 2022 are recommended conditions of approval (see Attachment E).
2. Any unpaid outstanding liens and assessments owed to the City shall be satisfied as a condition of lot line adjustment or lot split.
 - This is included as a condition of approval at the end of this report.
3. Consistency with the established neighborhood pattern shall be maintained, including lot dimensions, utility and parking functions, alley access and sanitation services.
 - Both lots would be consistent with neighborhood utility and parking functions, and sanitation services.
 - Further analysis is provided under Additional Variance Review Criteria, below.
4. All lots must be owned by the same entity or have the written consent of the property owner.
 - All lots will be owned by the current owner until sold.
5. Lot line adjustments and lot splits shall not create more than two additional buildable lots.
 - The Lot Line Adjustment creates two buildable lots.
6. For lot line adjustments, all lots shall meet the minimum lot size of the zoning district, unless one or more of the original lots do not meet the minimum lot size, then no lot having less area than the smallest of the lots included in the application shall be created.
 - The lots meet the required minimum lot size requirement.
7. For lot splits, no variance to the minimum lot area requirements of the zoning district is allowed.
 - This criterion is Not Applicable because the application is for a Lot Line Adjustment.

Additional Variance Review Criteria:

Physical Hardship Related to the Subject Property:

The hardship related to the property is the original platted configuration, that created lots deficient in width and area. Since their platting, the lots were re-zoned to RS-75, then NS-1, that required minimum 75-foot lot widths.

Consistency Review of Standards at Section 16.70.040.1.6 Variances, Generally:

1. Special conditions exist which are peculiar to the land, building, or other structures for which the variance is sought and which do not apply generally to lands, buildings, or other structures in the same district. Special conditions to be considered shall include, but not be limited to, the following circumstances:
 - a. Redevelopment. If the site involves the redevelopment or utilization of an existing developed or partially developed site:
 - This criterion is not applicable. The property is vacant.
 - b. Substandard Lot(s). If the site involves the utilization of an existing legal nonconforming lot(s) which is smaller in width, length or area from the minimum lot requirements of the district:
 - The lots are nonconforming platted lots of record and have been combined into one development parcel. Because the lots are under common ownership and are nonconforming, they cannot be unmerged unless variance approval is obtained.
 - c. Preservation district. If the site contains a designated preservation district:
 - The property is not located in a preservation district.
 - d. Historic Resources. If the site contains historical significance:
 - The property is not historically significant.
 - e. Significant vegetation or natural features. If the site contains significant vegetation or other natural features:
 - This is not a factor in this application.
 - f. Neighborhood Character. If the proposed project promotes the established historic or traditional development pattern of a block face, including setbacks, building height, and other dimensional requirements:
 - Development on nonconforming lots in common ownership was restricted by City Code 1973 through 2003. The Code was then amended in 2003, allowing development on any platted lot of record, loosening the previous restriction. After concerns that some of the consequent development was inconsistent with the neighborhood pattern in certain instances, City Council again amended the regulation on September 17, 2015, eliminating the right to build on substandard lots without first obtaining a variance, while also making clear the intent of the variance review is to determine whether such development would be consistent with the surrounding neighborhood pattern.
 - Lot Dimensions:

- The subject block and surrounding blocks within the NS-1 Zoning District were analyzed in terms of lot width. The lots on the subject block were generally platted at less than 75 feet wide.
 - The Study Area for lot width and area variances is typically established as the subject block and surrounding blocks (see Attachment F – Overall Study Area Map). In this case the Overall Study Area includes the subject block, the waterfront block to the south, and the blocks to the west of the waterfront blocks. Per the attached Tabular Analysis (see Attachment G), 60 percent of lots in this area are substandard in width, and 87 percent of parcels contain one house per platted lot (see Attachment H – Map Analysis.) The Overall Study Area, however, is a very large study area given the lengths of the waterfront blocks, and the lots along Tanglewood Drive NE have a different dimensional character than those along Bayou Grande Boulevard NE.
 - If we look at just the blocks containing lots with Bayou Grande Boulevard NE frontage, 76 percent of lots are substandard in width, and 79 percent of parcels contain one house per platted lot.
 - There is however, a difference in character between the Bayou Grande Boulevard NE frontage lots to the north of 62nd Avenue N, and those to the south of 62nd Avenue N. The lots to the north are predominantly 60 to 65 feet in width. In the blocks containing lots with Bayou Grande Boulevard NE frontage north of 62nd Avenue N, 88 percent of lots are substandard in width, and 91 percent of parcels contain one house per platted lot.
 - In all the foregoing analyses, the predominant pattern of the neighborhood is substandard lots, less than 75 feet wide, and one house per platted lot, which this application proposes.
 - See Attachment I – Aerial Photos.
 - We note that a variance to lot width was granted by the DRC in 2016 for two 53.7-foot-wide lots, located four parcels to the north of the subject parcel (DRC Case 16-54000080).
- Setbacks, Building Height and Other Dimensional Requirements:
- The applicant submitted plans for development of the two building lots which depict houses that comply with the required building setbacks and impervious coverage limitations for the zoning district.
2. The special conditions existing are not the result of the actions of the applicant;
 - The special conditions related to the case are not the result of the actions of the applicant.
 3. Owing to the special conditions, a literal enforcement of this Chapter would result in unnecessary hardship;
 - Literal enforcement of this Chapter would deprive the applicant of use of the land equivalent to the use made of lands in the subject neighborhood.
 4. Strict application of the provisions of this chapter would provide the applicant with no means for reasonable use of the land, buildings, or other structures;

- Strict application of the applicable provisions would allow the applicant to construct one single-family residential use on the parcel where the predominant pattern in the neighborhood is one house per platted lot.
5. The variance requested is the minimum variance that will make possible the reasonable use of the land, building, or other structure;
 - The variance requested is the minimum required.
 6. The granting of the variance will be in harmony with the general purpose and intent of this chapter;
 - The following purposes of the Land Development Regulations apply in this case:
 - *D. Development standards. The development standards contained within this chapter have been established in order to ensure adequate levels of light, air and density of development, to maintain and enhance locally recognized values of community appearance and to promote the safe and efficient circulation of pedestrian and vehicular traffic. The standards are in furtherance of the goals and objectives of the plan and are found to be necessary for the preservation of the community, health, safety and general welfare.*
 - *E. Site requirements. The required area and dimensions of all building sites is sufficient to accommodate the anticipated density of development, open spaces, setbacks and parking spaces.*
 - The application would generally be in harmony with the permitted density in the Zoning District, and the submitted plans demonstrate sufficiency of the dimensions of the proposed building sites to accommodate the density of development.
 7. The granting of the variance will not be injurious to neighboring properties or otherwise detrimental to the public welfare;
 - The granting of the variance is not anticipated to be directly injurious to neighboring properties.
 8. The reasons set forth in the application justify the granting of a variance;
 - The reasons set forth in the application narrative do justify granting of the variance.
 9. No nonconforming use of neighboring lands, buildings, or other structures, legal or illegal, in the same district, and no permitted use of lands, buildings, or other structures in adjacent districts shall be considered as grounds for issuance of a variance permitting similar uses.
 - This criterion is not applicable. No nearby nonconforming use situations are being considered, only lot dimensions of neighboring lands.

PUBLIC COMMENTS: As of the date of this report, Staff received no objections from the public. No comments were received from the Shore Acres Civic Association, CONA or FICO. Two signatures of support were submitted, one from the abutting property to the north, and one from a property owner 18 lots to the north.

STAFF RECOMMENDATION: Based on a review of the application according to the stringent evaluation criteria contained within the City Code, the Planning & Development Services Department Staff recommends **APPROVAL** of the application.

CONDITIONS OF APPROVAL: If the variance is approved consistent with the site plans submitted with this application, the Planning and Development Services Department Staff recommends that the approval shall be subject to the following:

1. The plans submitted for permitting shall substantially resemble those submitted with the approved variance application. Approval of this variance does not grant or imply variances from other sections of the City Code or other applicable regulations.
2. This variance approval shall be valid through June 1, 2025. Substantial construction shall commence prior to the expiration date unless an extension has been approved by the POD. A request for extension must be filed in writing prior to the expiration date.
3. The applicant, successors, or assigns shall comply with the conditions included in the Engineering Department Memorandum dated May 5, 2022.
4. Any public liens and assessments shall be satisfied.

Report Prepared By:

/s/Cheryl Bergailo

5/19/22

Cheryl Bergailo, AICP, LEED Green Assoc., Planner II
Development Review Services Division
Planning & Development Services Department

Date

Report Approved By:

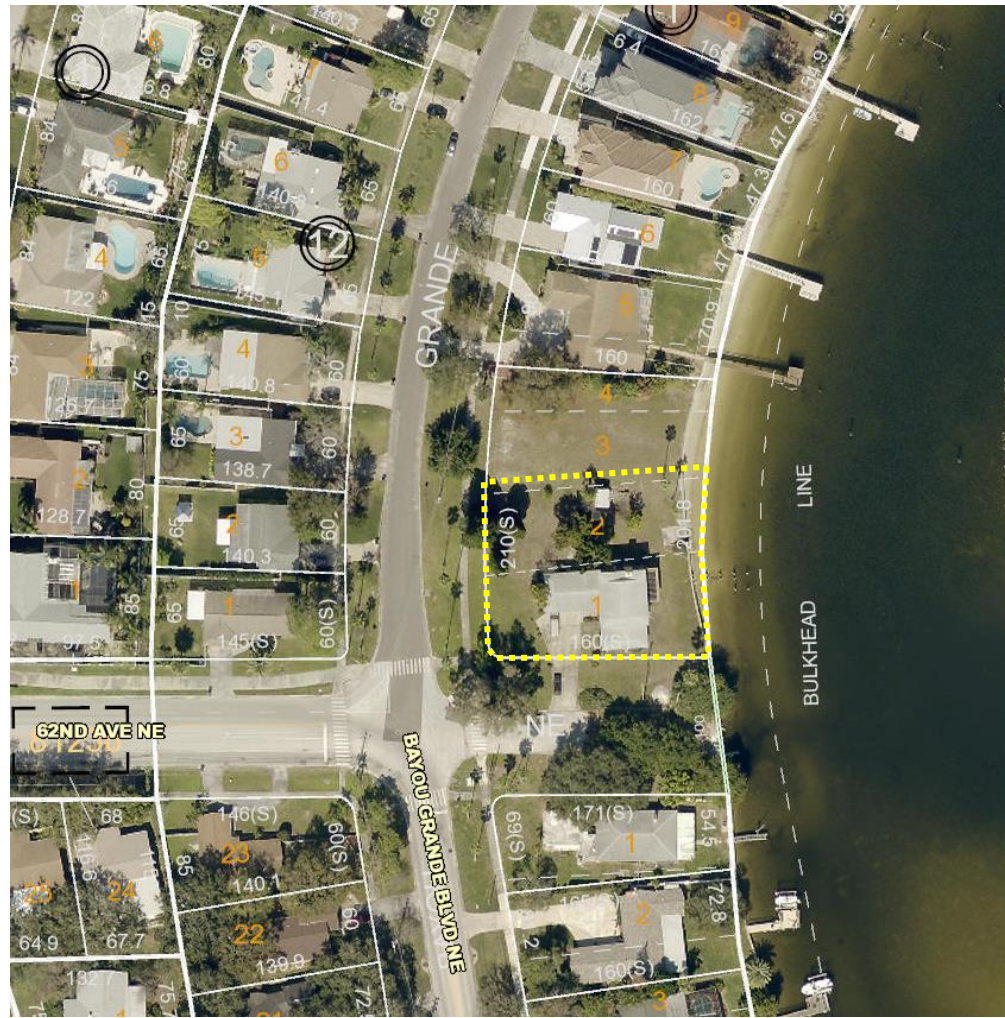
/s/Joe Moreda

5/19/2022

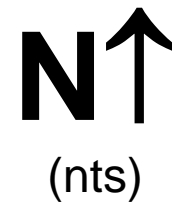
Joseph Moreda, III, AICP, Zoning Official (POD)
Development Review Services Division
Planning & Development Services Department

Date

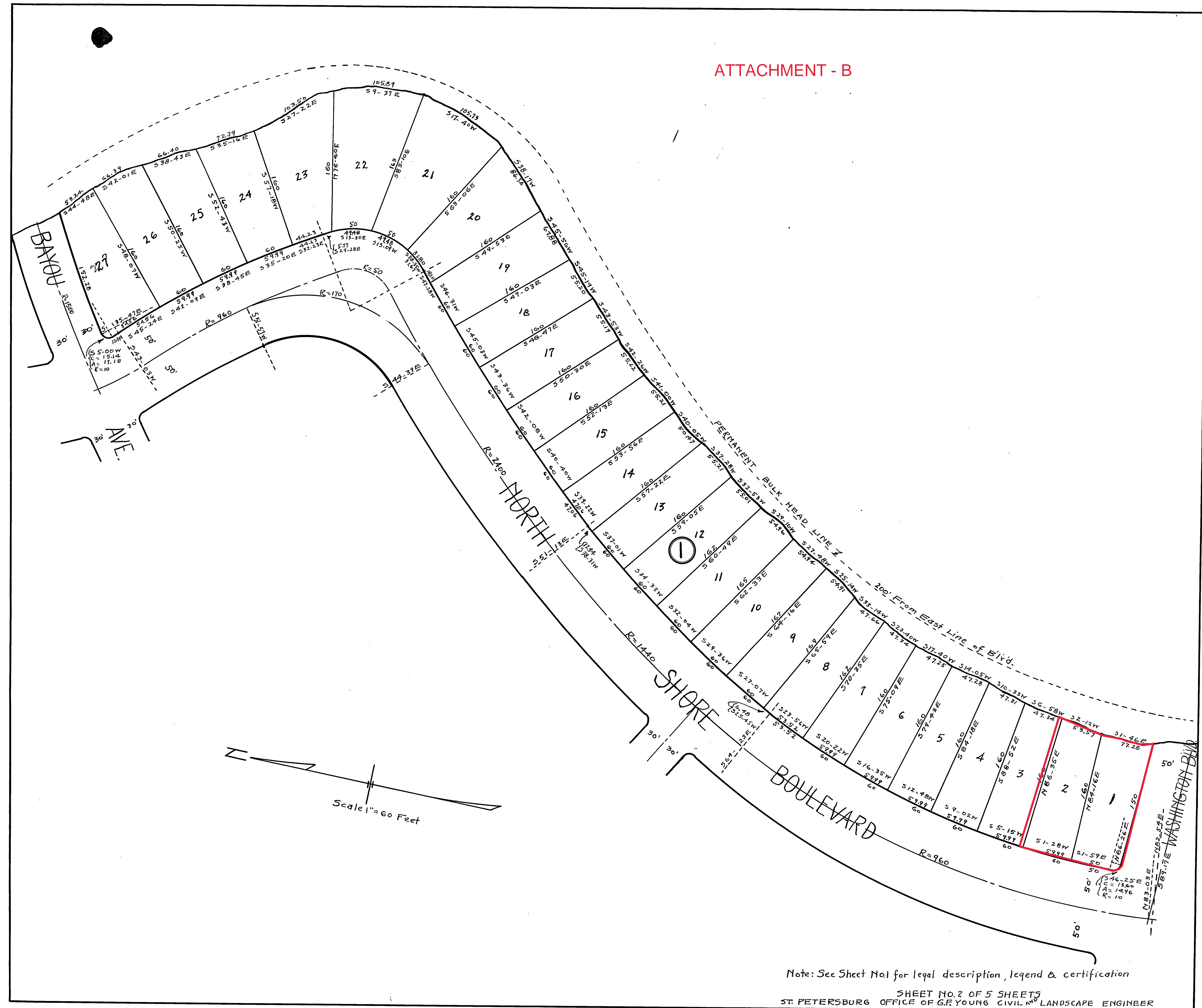
ATTACHMENTS: A) Location Map, B) Plat, C) Legal Description & Sketches, D) Application, E) Engineering Review Memo, F) Overall Study Area Map, G) Tabular Analysis, H) Map Analysis, I) Aerial Photos



ATTACHMENT – A
Project Location Map
City of St. Petersburg, Florida
Planning and Development Services Department
Case No.: 22-11000008
Address: 6201 Bayou Grande Blvd. NE.



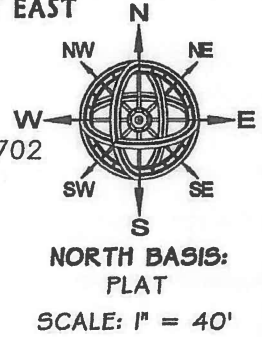
ATTACHMENT - B



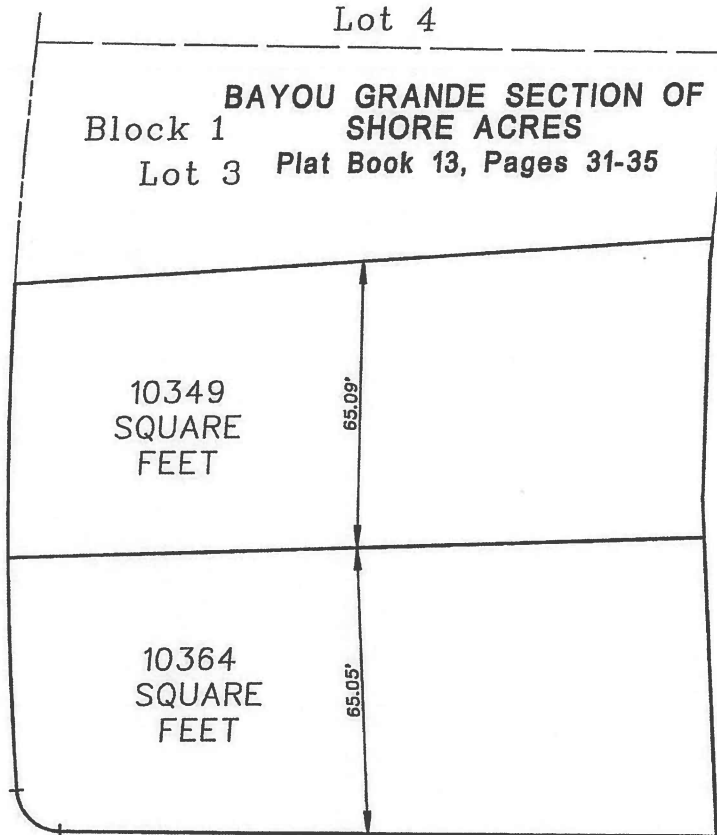
Note: See Sheet No.1 for legal description, legend & certification

NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 30 SOUTH, RANGE 17 EAST
DEPICTION OF MEAN DISTANCE MEASUREMENTS

SUBJECT PARCEL ID: 33-30-17-81234-001-0010
 #6201 BAYOU GRANDE BOULEVARD NE, ST. PETERSBURG, FL 33702
 OFFICIAL RECORDS BOOK 21866, PAGE 1038



NORTH SHORE BOULEVARD(P)
BAYOU GRANDE BOULEVARD NE
 100' RIGHT-OF-WAY



ABBREVIATIONS:

- (C) = CALCULATED
- (D) = DEED
- (P) = PLAT
- (P&C) = PLAT AND CALCULATED
- (P&S) = PLAT AND SET
- PCC = POINT OF COMPOUND CURVATURE

Assumed Basis of Bearings:
 NORTH RIGHT-OF-WAY LINE OF 62ND AVENUE NE
 AS BEING N.89°15'37"W., PER PLAT.

FOR: BAYOU GRANDE ONE, LLC

PREPARED: 3/23/22

THIS IS NOT A SURVEY

This Description and Sketch was prepared without the benefit of a title search and is subject to all easements, rights-of-way, and other matters of record.

NOTE: Description and Sketch not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

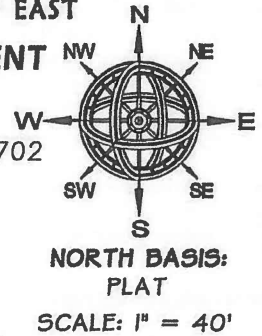
Job: 2008-108
 Drawn: DS

I hereby certify that the Description and Sketch represented hereon meets the requirements of Chapter 9J-17, Florida Administrative Code.
 STATE OF FLORIDA
 JOHN O. BRENDLA
 Florida Surveyor's Registration No. 4601
 Certificate of Authorization No. 760

Prepared by:
JOHN C. BRENDLA AND ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS AND MAPPERS
 4015 82nd Avenue North
 Pinellas Park, Florida 33781
 phone (727) 576-7546 ~ fax (727) 577-9932

NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 30 SOUTH, RANGE 17 EAST
DESCRIPTION AND SKETCH FOR LOT LINE ADJUSTMENT

SUBJECT PARCEL ID: 33-30-17-81234-001-0010
 #6201 BAYOU GRANDE BOULEVARD NE, ST. PETERSBURG, FL 33702
 OFFICIAL RECORDS BOOK 21866, PAGE 1038



LEGAL DESCRIPTION:

THE SOUTH 1/2 OF THE FOLLOWING DESCRIBED PARCEL:

LOTS 1 AND 2, BLOCK 1 AND THE SOUTHERLY 5 FEET OF LOT 3, BLOCK 1, ACCORDING TO THE PLAT OF BAYOU GRANDE SECTION OF SHORE ACRES, AS RECORDED IN PLAT BOOK 13, PAGES 31-35 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

CONTAINING 10364 SQUARE FEET MORE OR LESS.

CURVE 1

RADIUS=10.00'(P&S)
 ARC=14.96'(P&S)
 CHORD=13.60'(P&S)
 CHORD BEARING=
 N 46°25'00"W(P&S)

CURVE 2

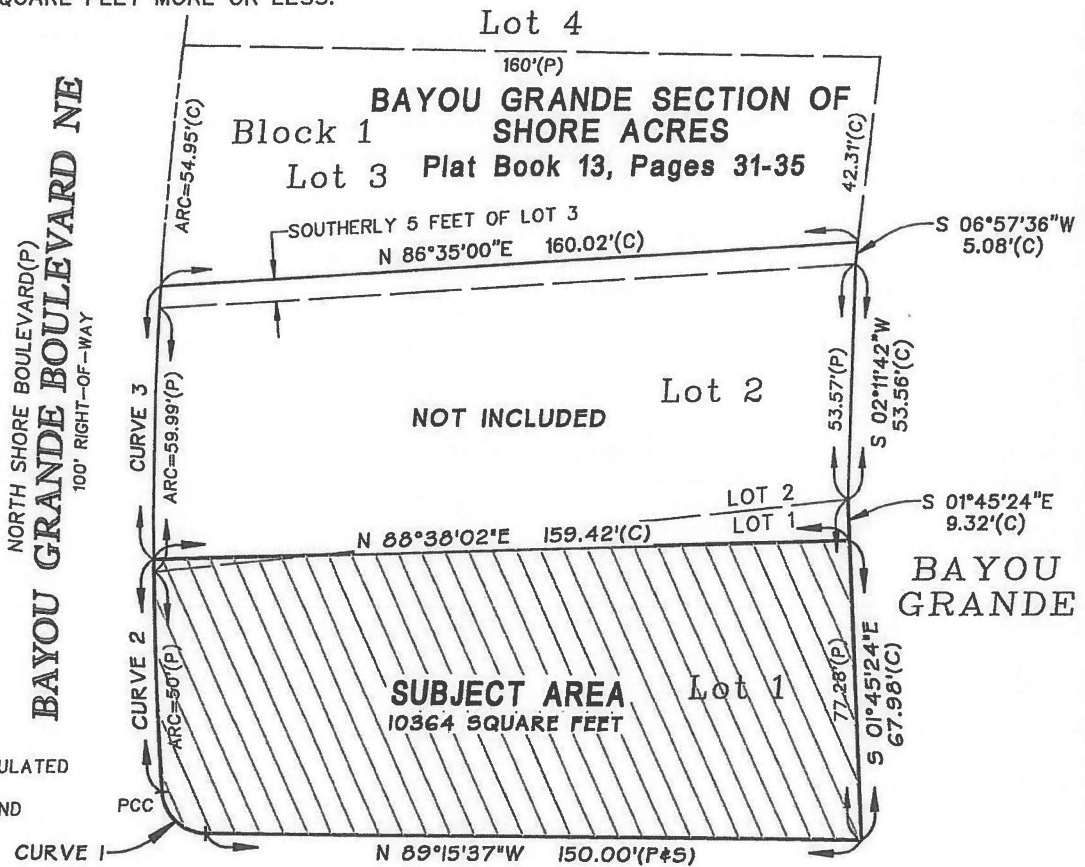
RADIUS=910.00'(P&C)
 ARC=52.87'(C)
 CHORD=52.86'(C)
 CHORD BEARING=
 N 01°45'25"W(C)

CURVE 3

RADIUS=910.00'(P&C)
 ARC=62.19'(C)
 CHORD=62.18'(C)
 CHORD BEARING=
 N 01°51'55"E(C)

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 (P) = PLAT
 (P&C) = PLAT AND CALCULATED
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 PCC = POINT OF COMPOUND CURVATURE



Assumed Basis of Bearings:
 NORTH RIGHT-OF-WAY LINE OF 62ND AVENUE NE
 AS BEING N.89°15'37"W., PER PLAT.

WASHINGTON BOULEVARD(P)
62ND AVENUE NE
 100' RIGHT-OF-WAY

PREPARED: 2/22/22

FOR: BAYOU GRANDE ONE, LLC

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Job: 2008-108D
 Drawn: DS

I hereby certify that the Description and Sketch represented hereon meets the requirements of Chapter 33-17, Florida Administrative Code.
 JOHN O. BRENDLA
 Florida Surveyor's Registration No. 4601
 Certificate of Authorization No. 760

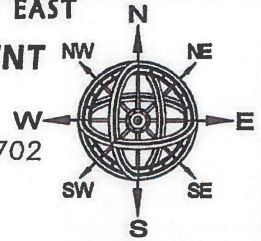
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 phone (727) 576-7546 ~ fax (727) 577-9932

SHEET 1 OF 1

NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 30 SOUTH, RANGE 17 EAST

DESCRIPTION AND SKETCH FOR LOT LINE ADJUSTMENT

SUBJECT PARCEL ID: 33-30-17-81234-001-0010
 #6201 BAYOU GRANDE BOULEVARD NE, ST. PETERSBURG, FL 33702
 OFFICIAL RECORDS BOOK 21866, PAGE 1038



NORTH BASIS:
 PLAT
 SCALE: 1" = 40'

LEGAL DESCRIPTION:

THE NORTH 1/2 OF THE FOLLOWING DESCRIBED PARCEL:

LOTS 1 AND 2, BLOCK 1 AND THE SOUTHERLY 5 FEET OF LOT 3, BLOCK 1, ACCORDING TO THE PLAT OF BAYOU GRANDE SECTION OF SHORE ACRES, AS RECORDED IN PLAT BOOK 13, PAGES 31-35 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

CONTAINING 10349 SQUARE FEET MORE OR LESS.

CURVE 1

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 CHORD=62.18'(C)
 CHORD BEARING=
 N 01°51'55"E(C)

CURVE 2

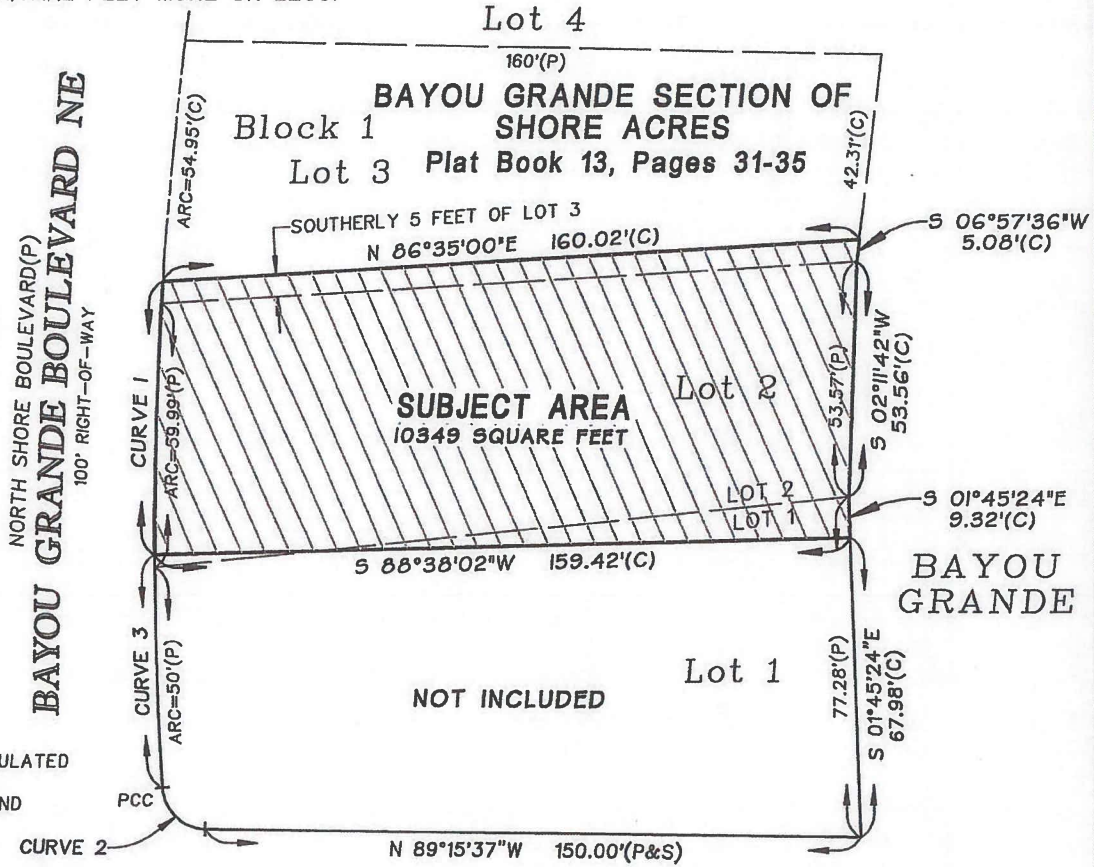
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 CHORD=13.60'(P&S)
 CHORD BEARING=
 N 46°25'00"W(P&S)

CURVE 3

RADIUS=910.00'(P&C)
 ARC=52.87'(C)
 CHORD=52.86'(C)
 CHORD BEARING=
 N 01°45'25"W(C)

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 (P&S) = PLAT AND SET
 PCC = POINT OF COMPOUND CURVATURE



Assumed Basis of Bearings:

NORTH RIGHT-OF-WAY LINE OF 62ND AVENUE NE AS BEING N.89°15'37"W., PER PLAT.

WASHINGTON BOULEVARD(P)
62ND AVENUE NE
 100' RIGHT-OF-WAY

PREPARED: 2/22/22

FOR: BAYOU GRANDE ONE, LLC

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NOTE: Description and Sketch not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

Job: 2008-108E
 Drawn: DS

I hereby certify that the Description and Sketch represented hereon meets the requirements of Chapter 33-17, Florida Administrative Code.
 JOHN O. BRENDLA
 Florida Surveyor's Registration No. 4601
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SHEET 1 OF 1

ATTACHMENT - D



**SUBDIVISION DECISION
Application**

Application No. 22-110000⁰⁸

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One 4th Street North.

- | | | |
|--------------------------|---|--|
| Application Type: | <input checked="" type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Vacating – Street Right-of-Way |
| Per: 16.40.140 & | <input type="checkbox"/> Lot Split | <input type="checkbox"/> Vacating – Alley Right-of-Way |
| 16.70.050 | <input type="checkbox"/> Lot Refacing | <input type="checkbox"/> Vacating – Walkway Right-of-Way |
| | <input type="checkbox"/> Street Name Change | <input type="checkbox"/> Vacating – Easement |
| | <input type="checkbox"/> Street Closing | <input type="checkbox"/> Vacating – Air Rights |

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): Bayou Grande One LLC	
Street Address: 9355 Seminole Blvd	
City, State, Zip: Seminole, FL 33772	
Telephone No: 813-785-2945	Email Address: jeff@ciafla.com
NAME of AGENT or REPRESENTATIVE:	
Street Address:	
City, State, Zip:	
Telephone No:	Email Address:
PROPERTY INFORMATION:	
Street Address or General Location: 6201 Bayou Grande Blvd NE	
Parcel ID#(s): 33-30-17-81234-001-0010	
DESCRIPTION OF REQUEST: Adjust lot line to create two similiar size properties	
PRE-APPLICATION DATE: 03/22/2022 PLANNER: Cheryl Bergailo	

FEE SCHEDULE

Lot Line & Lot Split Adjustment Administrative Review	\$200.00	Vacating Streets & Alleys	\$1,000.00
Lot Line & Lot Split Adjustment Commission Review	<u>\$300.00</u>	Vacating Walkway	\$400.00
Lot Refacing Administrative Review	\$300.00	Vacating Easements	\$500.00
Lot Refacing Commission Review	\$500.00	Vacating Air Rights	\$1,000.00
Variance with any of the above	\$350.00	Street Name Change	\$1,000.00
		Street Closing	\$1,000.00

Cash, credit, and checks made payable to the "City of St. Petersburg"

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner/Agent: [Signature] Date: 3/31/22
 *Affidavit to Authorize Agent required, if signed by Agent.

Typed name of Signatory: JEFF KINSEY



NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address: 6201 Bayou Grande Blvd NE	Case No.:
Description of Request: adjust lot line to create 2 similar size properties	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address: 6201 6301 Bayou Grande Blvd. NE	Owner Name (print): Catherine Ingrande
Owner Signature:	
2. Affected Property Address: 6643 Bayou Grande Blvd. NE	Owner Name (print): Edward Robertson
Owner Signature:	
3. Affected Property Address:	Owner Name (print):
Owner Signature:	
4. Affected Property Address:	Owner Name (print):
Owner Signature:	
5. Affected Property Address:	Owner Name (print):
Owner Signature:	
6. Affected Property Address:	Owner Name (print):
Owner Signature:	
7. Affected Property Address:	Owner Name (print):
Owner Signature:	
8. Affected Property Address:	Owner Name (print):
Owner Signature:	



PUBLIC PARTICIPATION REPORT

Application No. _____

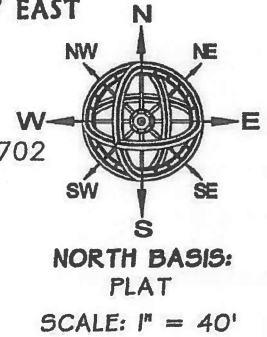
In accordance with LDR Section 16.70.040.1.F., "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a decision requiring a streamline review or public hearing. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, (except when the application is for a local historic district) but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

NOTE: This Report may be updated and resubmitted up to 10 days prior to the scheduled Public Hearing.

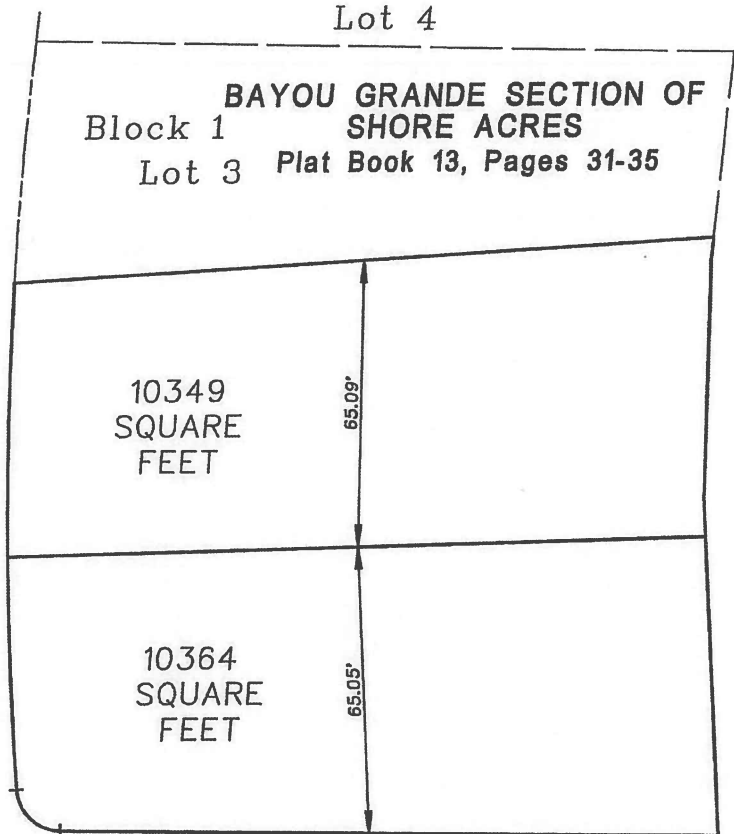
APPLICANT REPORT	
Street Address: 6201 Bayou Grande Blvd NE	
1. Details of techniques the applicant used to involve the public	
(a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal	
We have communicated our request to our neighbor adjoining our property to the north, Catherine Ingrande, and they are supportive. There is no adjoining property to the south.	
(b) Content, dates mailed, and number of mailings; including letters, meeting notices, newsletters, and other publications	
N/A	
(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located	
N/A	
2. Summary of concerns, issues, and problems expressed during the process	
N/A	
NOTICE OF INTENT TO FILE	
A minimum of ten (10) days prior to filing an application for a decision requiring Streamline or Public Hearing approval, the applicant shall send a copy of the application by email to the Council of Neighborhood Associations (CONA) Tom Lally at variance@stpetecona.org , by standard mail to Federation of Inner-City Community Organizations (FICO) Kimberly Frazier-Leggett at 3301 24 th Ave. S., St. Pete 33712, and by email to all other Neighborhood Associations and/or Business Associations within 300 feet of the subject property as identified in the Pre-Application Meeting Notes. The applicant shall file evidence of such notice with the application.	
☑ Date Notice of Intent to File sent to Associations within 300 feet, CONA and FICO: <u>04/01/2022</u>	
☑ Attach the evidence of the required notices to this sheet such as Sent emails.	

NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 30 SOUTH, RANGE 17 EAST
DEPICTION OF MEAN DISTANCE MEASUREMENTS

SUBJECT PARCEL ID: 33-30-17-81234-001-0010
 #6201 BAYOU GRANDE BOULEVARD NE, ST. PETERSBURG, FL 33702
 OFFICIAL RECORDS BOOK 21866, PAGE 1038



NORTH SHORE BOULEVARD(P)
BAYOU GRANDE BOULEVARD NE
 100' RIGHT-OF-WAY



BAYOU GRANDE

WASHINGTON BOULEVARD(P)
62ND AVENUE NE
 100' RIGHT-OF-WAY

ABBREVIATIONS:

- (C) = CALCULATED
- (D) = DEED
- (P) = PLAT
- (P&C) = PLAT AND CALCULATED
- (P&S) = PLAT AND SET
- PCC = POINT OF COMPOUND CURVATURE

Assumed Basis of Bearings:
 NORTH RIGHT-OF-WAY LINE OF 62ND AVENUE NE
 AS BEING N.89°15'37"W., PER PLAT.

FOR: BAYOU GRANDE ONE, LLC

PREPARED: 3/23/22

THIS IS NOT A SURVEY

This Description and Sketch was prepared without the benefit of a title search and is subject to all easements, rights-of-way, and other matters of record.

NOTE: Description and Sketch not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

Job: 2008-108
 Drawn: DS

I hereby certify that the Description and Sketch represented hereon meet the requirements of Chapter 3J-17, Florida Administrative Code.

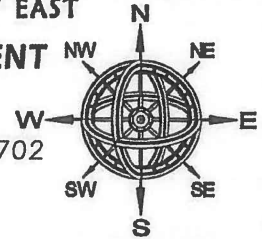
John O. Brendla
 JOHN O. BRENDLA
 Florida Surveyor's Registration No. 4601
 Certificate of Authorization No. 760

Prepared by:
JOHN C. BRENDLA AND ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS AND MAPPERS
 4015 82nd Avenue North
 Pinellas Park, Florida 33781
 phone (727) 576-7546 ~ fax (727) 577-9932

NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 30 SOUTH, RANGE 17 EAST

DESCRIPTION AND SKETCH FOR LOT LINE ADJUSTMENT

SUBJECT PARCEL ID: 33-30-17-81234-001-0010
 #6201 BAYOU GRANDE BOULEVARD NE, ST. PETERSBURG, FL 33702
 OFFICIAL RECORDS BOOK 21866, PAGE 1038



NORTH BASIS:
 PLAT
 SCALE: 1" = 40'

LEGAL DESCRIPTION:

THE SOUTH 1/2 OF THE FOLLOWING DESCRIBED PARCEL:

LOTS 1 AND 2, BLOCK 1 AND THE SOUTHERLY 5 FEET OF LOT 3, BLOCK 1, ACCORDING TO THE PLAT OF BAYOU GRANDE SECTION OF SHORE ACRES, AS RECORDED IN PLAT BOOK 13, PAGES 31-35 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

CONTAINING 10364 SQUARE FEET MORE OR LESS.

CURVE 1

RADIUS=10.00'(P&S)
 ARC=14.96'(P&S)
 CHORD=13.60'(P&S)
 CHORD BEARING=
 N 46°25'00"W(P&S)

CURVE 2

RADIUS=910.00'(P&C)
 ARC=52.87'(C)
 CHORD=52.86'(C)
 CHORD BEARING=
 N 01°45'25"W(C)

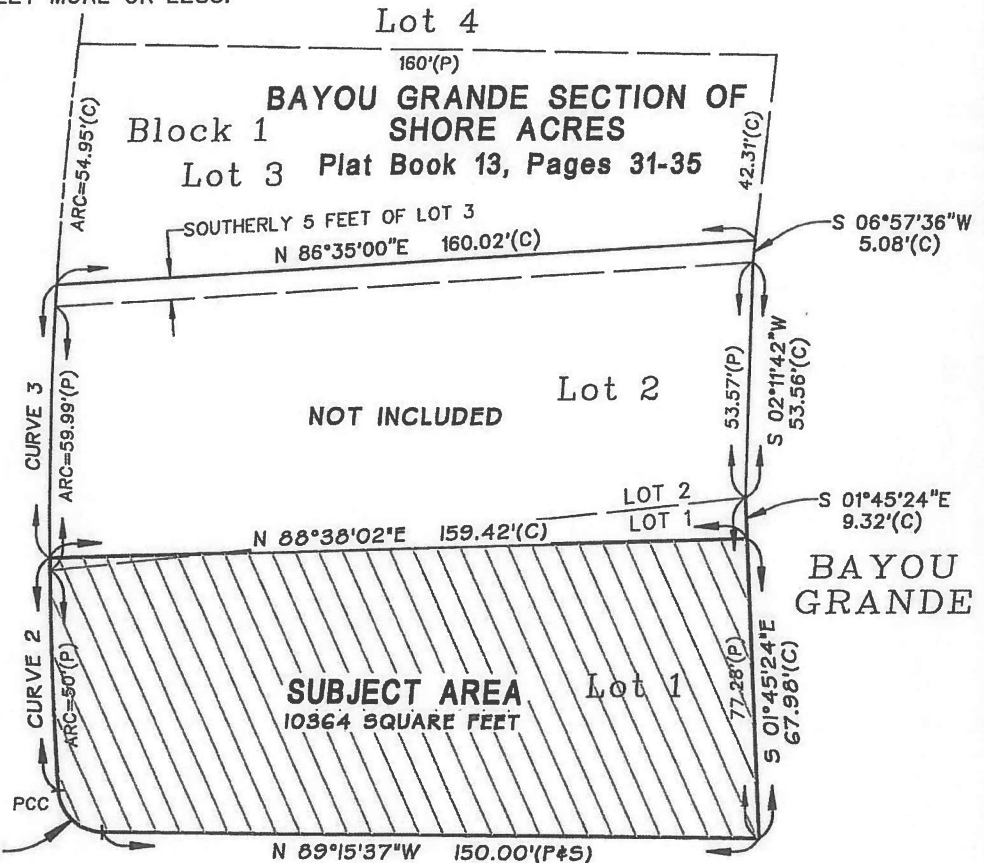
CURVE 3

RADIUS=910.00'(P&C)
 ARC=62.19'(C)
 CHORD=62.18'(C)
 CHORD BEARING=
 N 01°51'55"E(C)

ABBREVIATIONS:

(C) = CALCULATED
 (D) = DEED
 (P) = PLAT
 (P&C) = PLAT AND CALCULATED
 (P&S) = PLAT AND SET
 PCC = POINT OF COMPOUND CURVATURE

NORTH SHORE BOULEVARD(P)
 BAYOU GRANDE BOULEVARD NE
 100' RIGHT-OF-WAY



Assumed Basis of Bearings:

NORTH RIGHT-OF-WAY LINE OF 62ND AVENUE NE AS BEING N.89°15'37"W., PER PLAT.

WASHINGTON BOULEVARD(P)
62ND AVENUE NE
 100' RIGHT-OF-WAY

PREPARED: 2/22/22

FOR: BAYOU GRANDE ONE, LLC

THIS IS NOT A SURVEY

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NOTE: Description and Sketch not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

Job: 2008-108D
 Drawn: DS

I hereby certify that the Description and Sketch represented herein meet the requirements of Chapter 33-17, Florida Administrative Code.
 JOHN O. BRENDLA
 Florida Surveyor's Registration No. 4601
 Certificate of Authorization No. 760

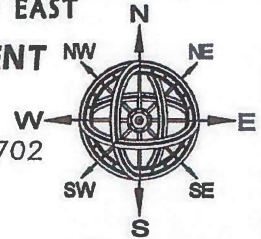
Prepared by:
JOHN C. BRENDLA AND ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS AND MAPPERS
 4015 82nd Avenue North
 Pinellas Park, Florida 33781
 phone (727) 576-7546 ~ fax (727) 577-9932

SHEET 1 OF 1

NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 30 SOUTH, RANGE 17 EAST

DESCRIPTION AND SKETCH FOR LOT LINE ADJUSTMENT

SUBJECT PARCEL ID: 33-30-17-81234-001-0010
 #6201 BAYOU GRANDE BOULEVARD NE, ST. PETERSBURG, FL 33702
 OFFICIAL RECORDS BOOK 21866, PAGE 1038



NORTH BASIS:
 PLAT

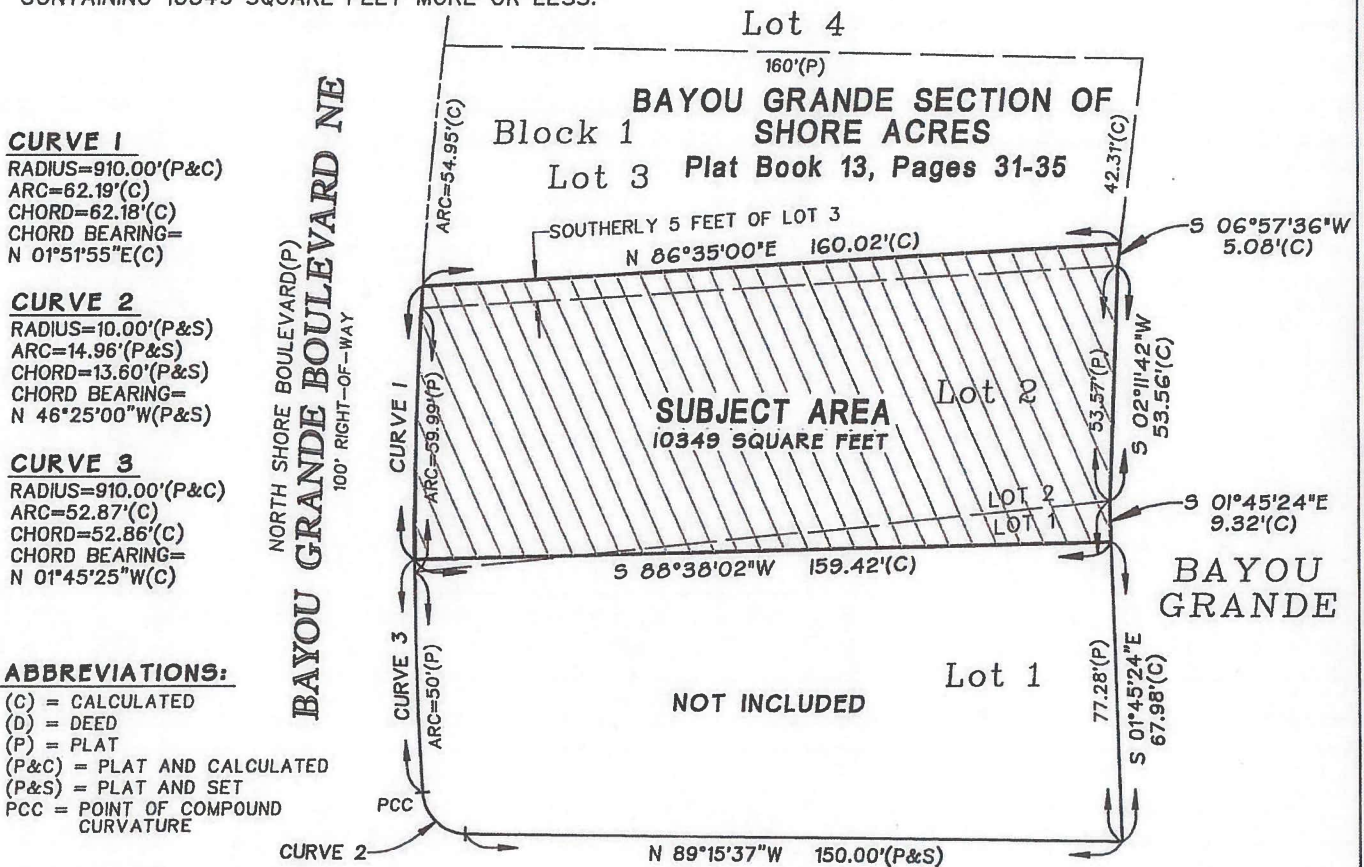
SCALE: 1" = 40'

LEGAL DESCRIPTION:

THE NORTH 1/2 OF THE FOLLOWING DESCRIBED PARCEL:

LOTS 1 AND 2, BLOCK 1 AND THE SOUTHERLY 5 FEET OF LOT 3, BLOCK 1, ACCORDING TO THE PLAT OF BAYOU GRANDE SECTION OF SHORE ACRES, AS RECORDED IN PLAT BOOK 13, PAGES 31-35 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

CONTAINING 10349 SQUARE FEET MORE OR LESS.



CURVE 1
 RADIUS=910.00'(P&C)
 ARC=62.19'(C)
 CHORD=62.18'(C)
 CHORD BEARING=
 N 01°51'55\"E(C)

CURVE 2
 RADIUS=10.00'(P&S)
 ARC=14.96'(P&S)
 CHORD=13.60'(P&S)
 CHORD BEARING=
 N 46°25'00\"W(P&S)

CURVE 3
 RADIUS=910.00'(P&C)
 ARC=52.87'(C)
 CHORD=52.86'(C)
 CHORD BEARING=
 N 01°45'25\"W(C)

ABBREVIATIONS:

- (C) = CALCULATED
- (D) = DEED
- (P) = PLAT
- (P&C) = PLAT AND CALCULATED
- (P&S) = PLAT AND SET
- PCC = POINT OF COMPOUND CURVATURE

Assumed Basis of Bearings:
 NORTH RIGHT-OF-WAY LINE OF 62ND AVENUE NE
 AS BEING N.89°15'37\"W., PER PLAT.

WASHINGTON BOULEVARD(P)
62ND AVENUE NE
 100' RIGHT-OF-WAY

PREPARED: 2/22/22

FOR: BAYOU GRANDE ONE, LLC

THIS IS NOT A SURVEY

This Description and Sketch was prepared without the benefit of a title search and is subject to all easements, rights-of-way, and other matters of record.

NOTE: Description and Sketch not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

Job: 2008-108E
 Drawn: DS

I hereby certify that the Description and Sketch represented hereon meets the requirements of Chapter 3J-17, Florida Administrative Code.
 JOHN O. BRENDLA
 Florida Surveyor's Registration No. 4601
 Certificate of Authorization No. 760

Prepared by:
JOHN C. BRENDLA AND ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS AND MAPPERS
 4015 82nd Avenue North
 Pinellas Park, Florida 33781
 phone (727) 576-7546 ~ fax (727) 577-9932

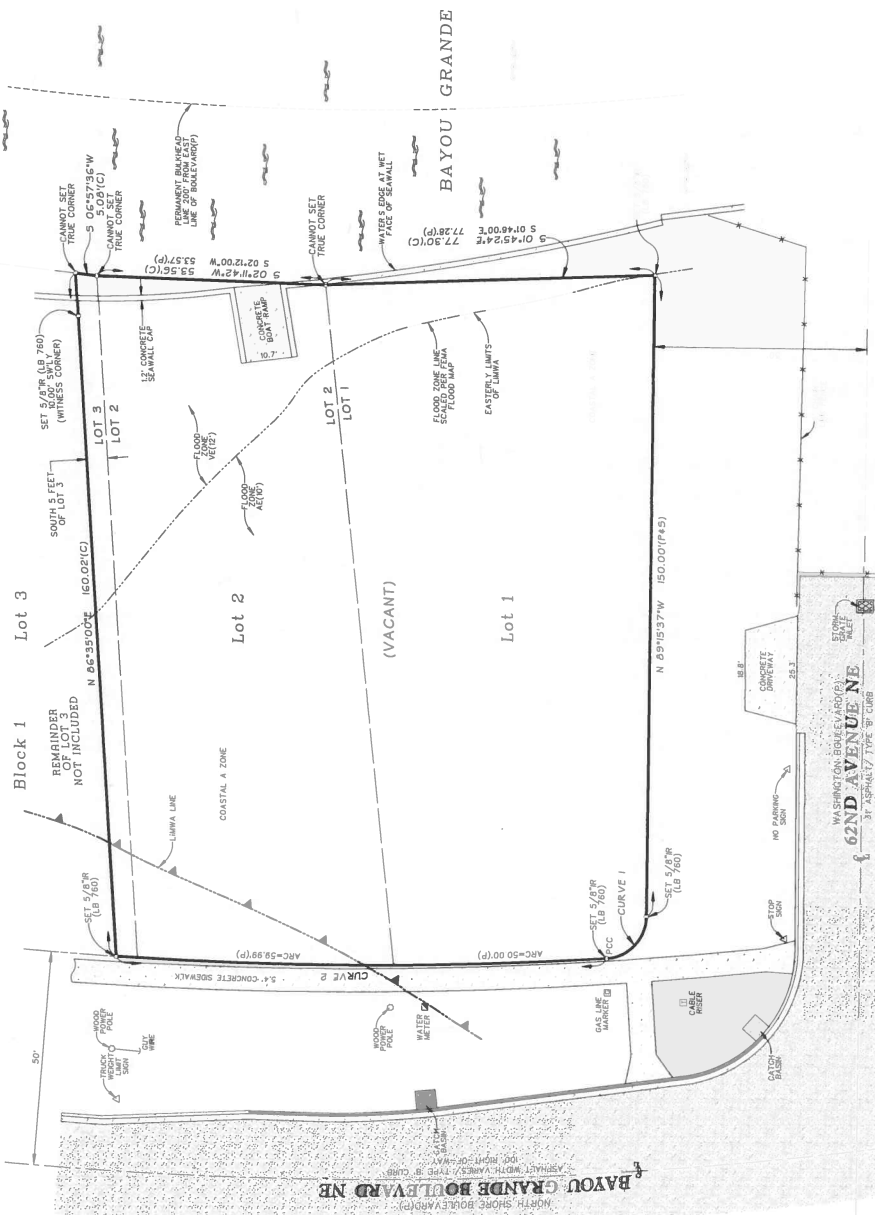
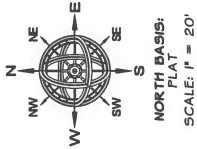
SHEET 1 OF 1

CERTIFIED TO:
BAYOU GRANDE ONE, LLC

NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 30 SOUTH, RANGE 17 EAST

LEGAL DESCRIPTION:

LOTS 1 AND 2, BLOCK 1 AND THE SOUTHERLY 5 FEET OF LOT 3, BLOCK 1, ACCORDING TO THE PLAT OF BAYOU GRANDE SECTION OF SHORE ACRES, AS RECORDED IN PLAT BOOK 13, PAGES 31-35 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA



NOTE:
This survey was prepared without the benefit of a title search and is subject to all easements, rights-of-way, and other matters of record.
This survey is made for the exclusive use of the current owners of the property and does not guarantee the title thereto within one (1) year from latest date shown hereon.

CERTIFICATION

I hereby certify that this survey complies with the requirements of Chapters 92-17, 92-18, and 92-19, Florida Statutes.
[Signature]
JOHN O. BRENDIA
Professional Land Surveyor and Mapper
Florida Certificate No. 15000

JOHN C. BRENDIA AND ASSOCIATES, INC.
Professional Land Surveyors and Mappers

JCB

4015 82nd Avenue North
Pinellas Park, Florida 33781
Telephone (727) 576-7546
Facsimile (727) 577-9932
LB 760

REVISIONS	
No.	DESCRIPTION

Checked: JOB
Drawn: DS
Survey Date: 4/09/22
Job Number: 2008-108F
FB 944 PG. 76

BOUNDARY SURVEY ONLY
#6201 BAYOU GRANDE BOULEVARD NE

ABBREVIATIONS:
C.T. = CALCULATED
R = IRON ROD
L.M.W. = LEAST SQUARES
P.C. = POINT OF CURVATURE
P.T. = POINT OF TANGENCY
I.P.K. = INTERSECTION POINT
S.P.L. = SPLIT

CURVE 1
ARC=14.80(P)
R=15.00
CHORD BEARING=N 46°25'00"W(P45)

CURVE 2
ARC=115.00(O)
R=115.00
CHORD BEARING=N 00°12'04"E(C)

FEMA Flood Zone Data:
FLOOD ZONE(S): AE(10) & VE(17)
COMMUNITY PANEL: 1225145 130320228 H
REVISED 8/24/21
Assumed Basis of Bearings:
NORTH RIGHT-OF-WAY LINE OF 62ND AVENUE NE
AS BEING N89°15'37"W, PER PLAT.



st.petersburg
www.stpete.org

VARIANCE

Application No. 22-1100008

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One Fourth Street North.

GENERAL INFORMATION	
NAME of APPLICANT (Property Owner): Bayou Grande One LLC	
Street Address: 9355 Seminole Blvd	
City, State, Zip: Seminole, FL 33772	
Telephone No: 813-785-2945	Email Address: jeff@ciafla.com
NAME of AGENT or REPRESENTATIVE:	
Street Address:	
City, State, Zip:	
Telephone No:	Email Address:
PROPERTY INFORMATION:	
Street Address or General Location: 6201 Bayou Grande Blvd NE	
Parcel ID#(s): 33-30-17-81234-001-0010	
DESCRIPTION OF REQUEST: Lot split where both lots will be less than 75" in width. Lots at one time were 2 separate lots	
PRE-APPLICATION DATE: 03/22/22	PLANNER: Cheryl Bergailo

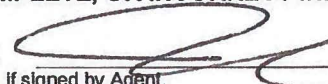
FEE SCHEDULE			
1 & 2 Unit, Residential - 1 st Variance	<u>\$350.00</u>	Each Additional Variance	\$100.00
3 or more Units & Non-Residential - 1 st Variance	\$350.00	After-the-Fact	\$500.00
		Docks	\$400.00
		Flood Elevation	\$300.00
Cash, credit, checks made payable to "City of St. Petersburg"			

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested variance. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*:  Date: 3/30/22
 *Affidavit to Authorize Agent required, if signed by Agent.
 Typed Name of Signatory: Jeff Kinser



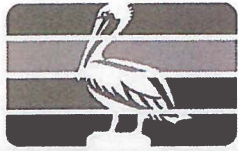
VARIANCE

NARRATIVE (PAGE 1)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 6201 Bayou Grande Blvd NE	Case No.:
Detailed Description of Project and Request: looking to split parcel back into 2 buildable lots that are each 65" feet in width at the midpoint	
1. What is unique about the size, shape, topography, or location of the subject property? How do these unique characteristics justify the requested variance?	
The lot as it stands does not conform in size as it relates to the rest of the neighborhood. Splitting back into 2 lots is more in line with the neighborhood appearance. Historically the neighborhood was zoned for 60" lots and most homes in the area follow this pattern.	
2. Are there other properties in the immediate neighborhood that have already been developed or utilized in a similar way? If so, please provide addresses and a description of the specific signs or structures being referenced.	
6501 Bayou Grande Blvd NE	
6511 Bayou Grande Blvd NE	
6519 Bayou Grande Blvd NE	
6401 Bayou Grande Blvd NE	
6411 Bayou Grande Blvd NE	
6323 Bayou Grande Blvd NE	
1950 62nd Ave NE	
All subject properties are less than the 75" required width. These are only a sampling as the majority of the properties in the area are similar. Many are 60" in width, whereas we would be at 65".	
3. How is the requested variance not the result of actions of the applicant?	
We purchased property as is as one parcel with the understanding that returning to 2 buildable lots as originally platted would be supported. The variance is the result of changes to the code that do not align with the norms of the neighborhood.	



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www.stpete.org

VARIANCE

NARRATIVE (PAGE 2)

All applications for a variance must provide justification for the requested variance(s) based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. Responses may be provided as a separate letter, addressing each of the six criteria.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
<p>4. How is the requested variance the minimum necessary to make reasonable use of the property? In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>Creating 2 buildable lots is more in line with the character and history of the rest of the neighborhood appearance.</p> <p>As the lot currently stands at 130" in width it does not conform to the neighborhood. One large home on the property would be completely out of character for the area.</p>
<p>5. What other alternatives have been considered that do not require a variance? Why are these alternatives unacceptable?</p> <p>There are no other known alternatives as one home on the site would not be consistent for the area.</p>
<p>6. In what ways will granting the requested variance enhance the character of the neighborhood?</p> <p>Creating 2 lots will create more consistency in the neighborhood appearance. As the lot currently stands it is almost double in size of the majority of the properties in the area.</p>



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VARIANCE

NEIGHBORHOOD WORKSHEET

Applicants are strongly encouraged to obtain signatures in support of the proposal(s) from owners of property adjacent to or otherwise affected by a particular request.

NEIGHBORHOOD WORKSHEET	
Street Address: 6201 Bayou Grande Blvd NE	Case No.:
Description of Request: Lot split with variance for width to be less than 75". Split would create two lots at 65" in width each to align more closely with neighborhood standard.	
The undersigned adjacent property owners understand the nature of the applicant's request and do not object (attach additional sheets if necessary):	
1. Affected Property Address: 10301 Bayou Grande Blvd NE	
Owner Name (print): Catherine Inglande	
Owner Signature:	
2. Affected Property Address: 10643 Bayou Grande Blvd. NE	
Owner Name (print): Edward Culbertson	
Owner Signature:	
3. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
4. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
5. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
6. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
7. Affected Property Address:	
Owner Name (print):	
Owner Signature:	
8. Affected Property Address:	
Owner Name (print):	
Owner Signature:	



PUBLIC PARTICIPATION REPORT

Application No. _____

In accordance with LDR Section 16.70.040.1.F., "It is the policy of the City to encourage applicants to meet with residents of the surrounding neighborhoods prior to filing an application for a decision requiring a streamline review or public hearing. Participation in the public participation process prior to required public hearings will be considered by the decision-making official when considering the need, or request, for a continuance of an application. It is not the intent of this section to require neighborhood meetings, (except when the application is for a local historic district) but to encourage meetings prior to the submission of applications for approval and documentation of efforts which have been made to address any potential concerns prior to the formal application process."

NOTE: This Report may be updated and resubmitted up to 10 days prior to the scheduled Public Hearing.

APPLICANT REPORT

Street Address: 6201 Bayou Grande Blvd NE

1. Details of techniques the applicant used to involve the public
 (a) Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal
 Have communicated with our neighbors (Catherine Ingrande) bordering the north side of the property our intentions and our request is understood and supported. There is no adjoining property to the south of the lot as proposed lot 1 is a corner.

(b) Content, dates mailed, and number of mailings; including letters, meeting notices, newsletters, and other publications
 N/A

(c) Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located
 N/A

2. Summary of concerns, issues, and problems expressed during the process
 None

NOTICE OF INTENT TO FILE

A minimum of ten (10) days prior to filing an application for a decision requiring Streamline or Public Hearing approval, the applicant shall send a copy of the application by email to the Council of Neighborhood Associations (CONA) (c/o Tom Lally at variance@stpetecona.org), by standard mail to Federation of Inner-City Community Organizations (FICO) (c/o Kimberly Frazier-Leggett at 3301 24th Ave. S., St. Pete 33712) and by email to all other Neighborhood Associations and/or Business Associations within 300 feet of the subject property as identified in the Pre-Application Meeting Notes. The applicant shall file evidence of such notice with the application.

- Date Notice of Intent to File sent to Associations within 300 feet, CONA and FICO: 04/01/2022
- Attach the evidence of the required notices to this sheet such as Sent emails.

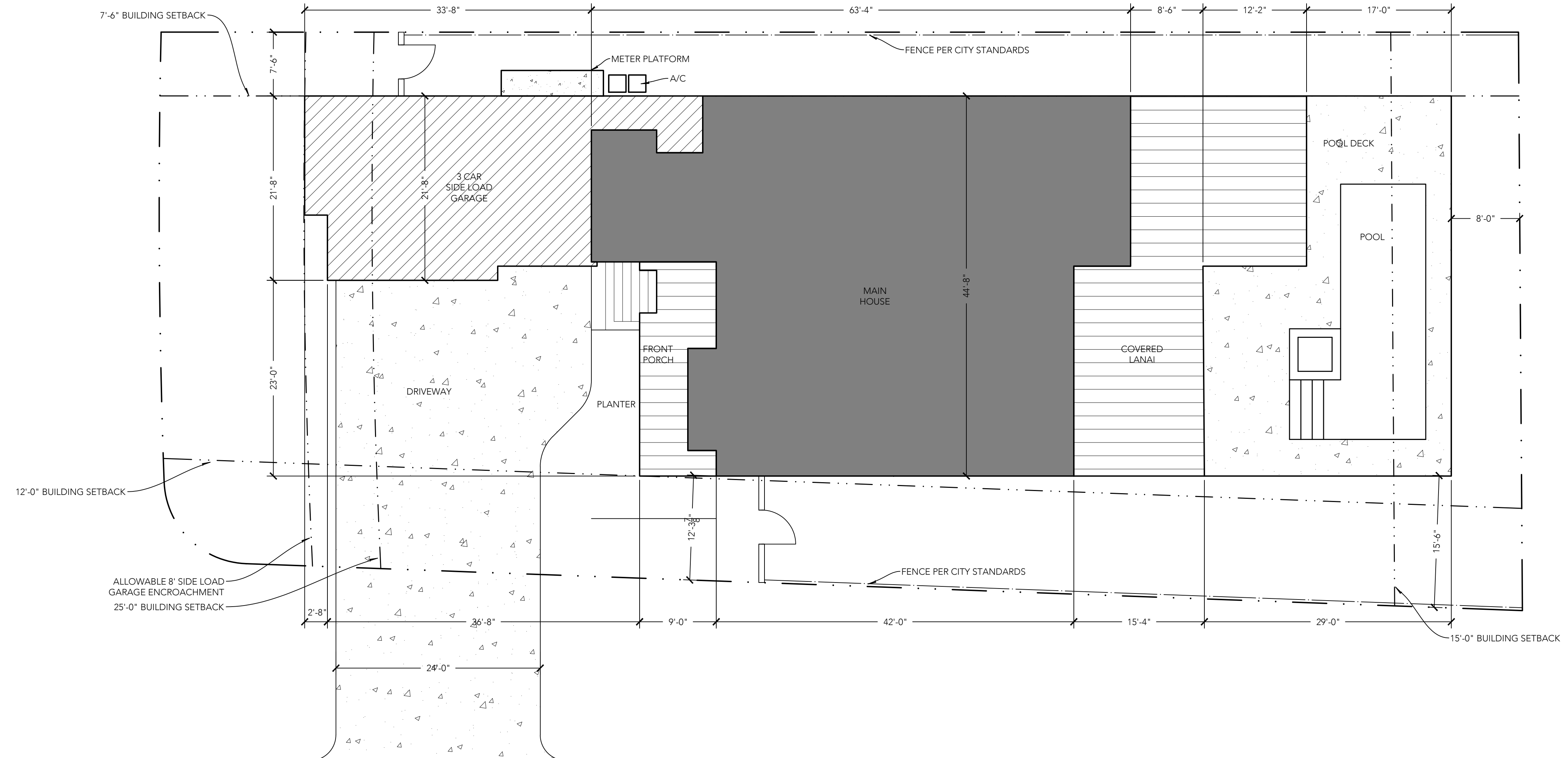


LOT 1

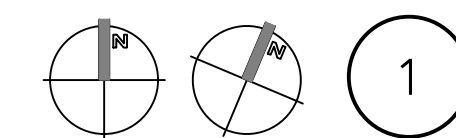
6201 BAYOU GRANDE BLVD NE

ST. PETERSBURG, FL 33703

1ST LEVEL: 2603 SF
 2ND LEVEL: 2443 SF
 TOTAL A/C: 5046 SF
 LOT AREA: 10364.5 SF
 BUILDING COVERAGE: 4292.3 SF = 41.4%
 IMPERVIOUS COVERAGE: 6024 SF = 58.1%



62ND



1 ARCHITECTURAL SITE PLAN
 SCALE: 1/8"=1'-0"

PROJECT NAME / CLIENT:
BAYOU GRANDE LLC

PROJECT ADDRESS:
 6201 BAYOU GRANDE BLVD NE
 ST. PETERSBURG, FL 33703

CLIENT / CONTRACTOR:

DRAWING TITLE:
ARCHITECTURAL SITE PLAN

ISSUANCES

VRB APP	
CONCEPT	
50% DD REVIEW	
100% DD REVIEW	
50% CD REVIEW	
100% CD REVIEW	
PERMIT	

REVISIONS

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STATUS:
 LOT SPLIT VARIANCE APP

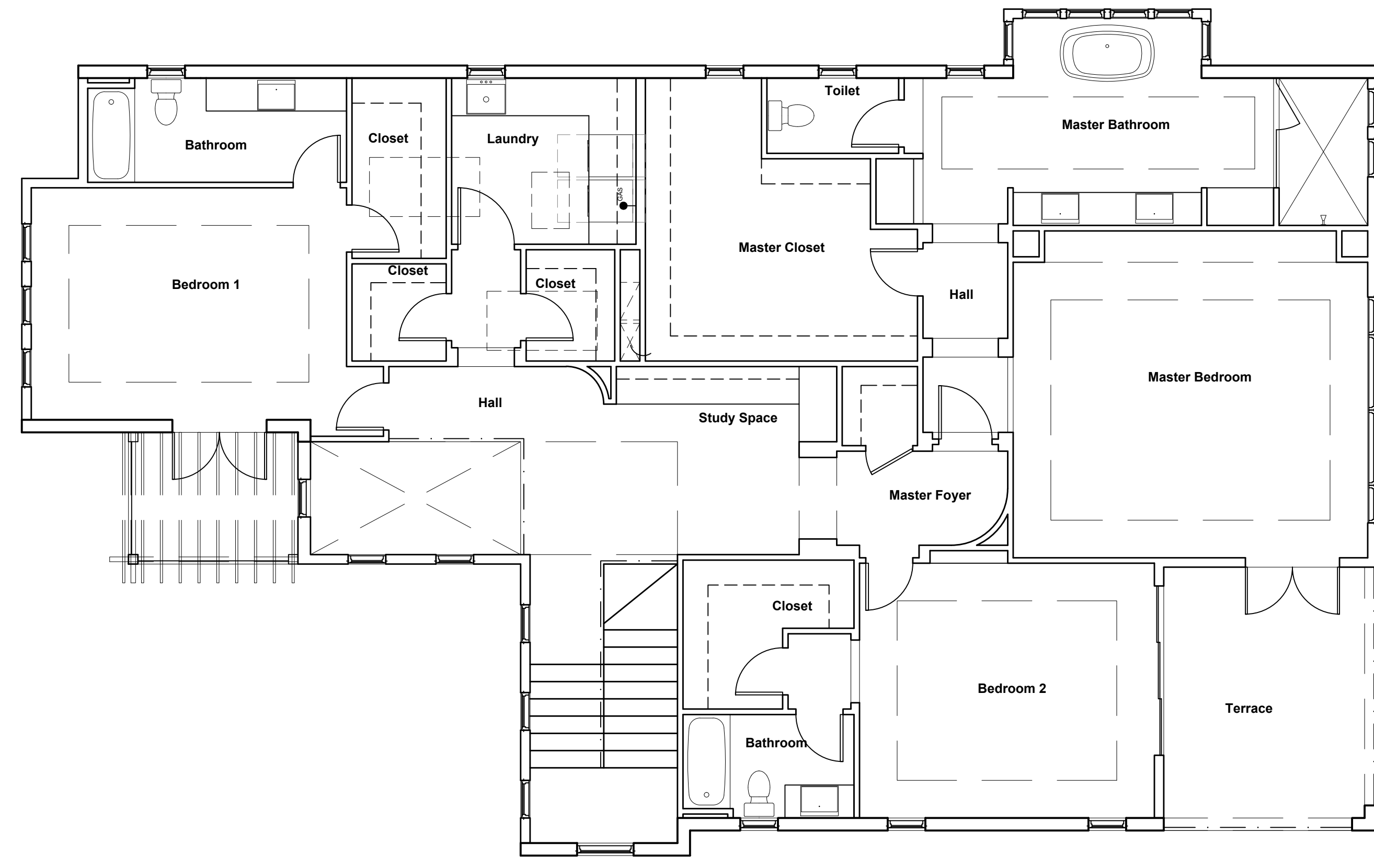
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GWM

PRINTED DATE:
 3/30/2022

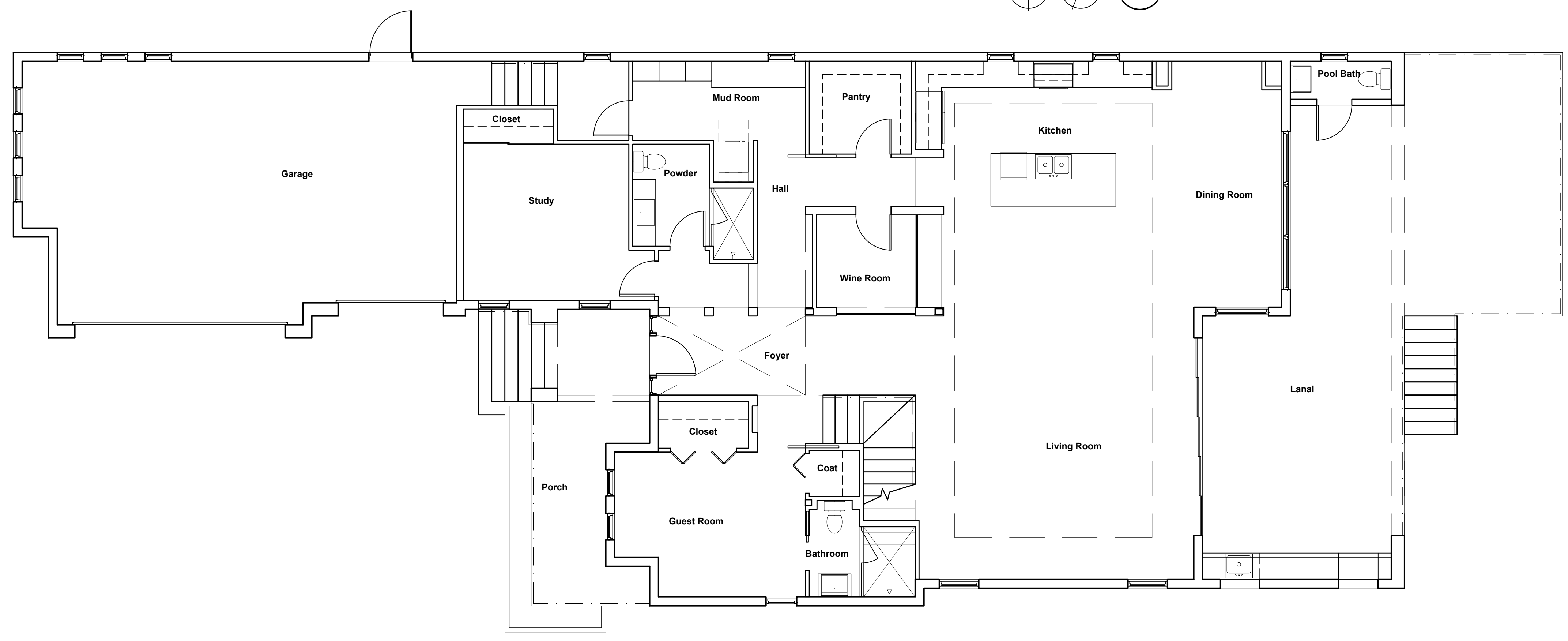
SHEET ID:

L2-010

PROJECT ID:
 MDS 22-03



2 LEVEL 2 FLOOR PLAN
SCALE: 3/16"=1'-0"



1 LEVEL 1 FLOOR PLAN
SCALE: 3/16"=1'-0"

PROJECT NAME / CLIENT:
BAYOU GRANDE LLC
 PROJECT ADDRESS:
 6201 BAYOU GRANDE BLVD NE
 ST. PETERSBURG, FL 33703
 CLIENT / CONTRACTOR:

DRAWING TITLE:
FLOOR PLANS

ISSUANCES

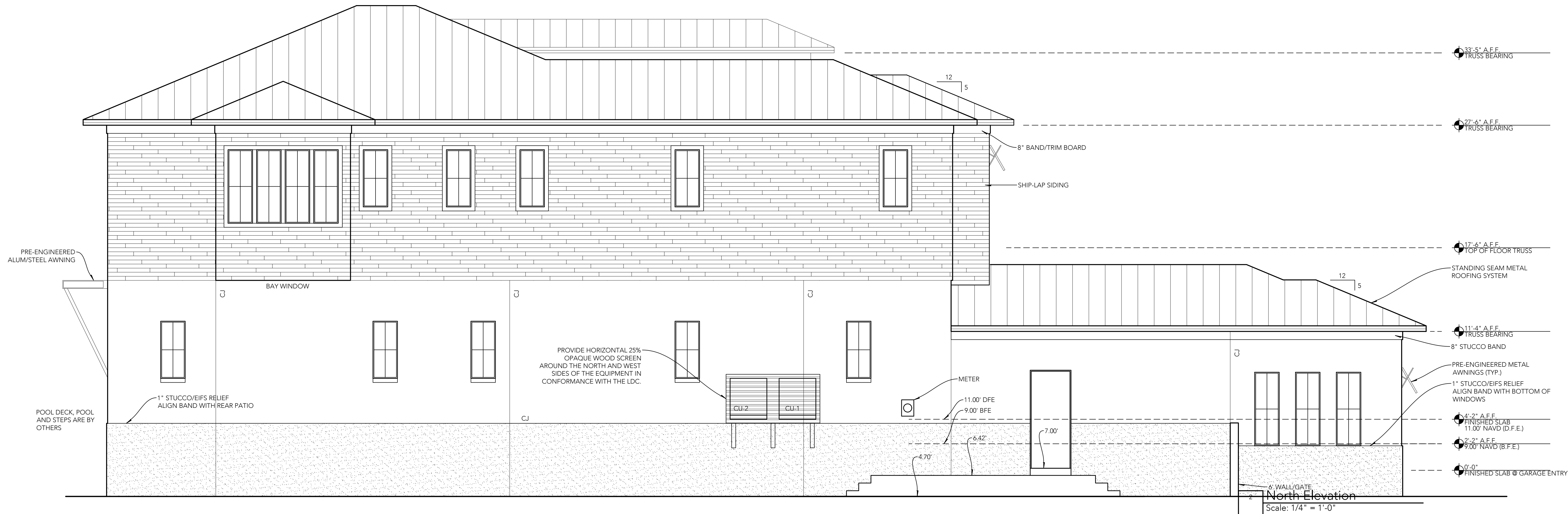
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CONCEPT	
50% DD REVIEW	
100% DD REVIEW	
50% CD REVIEW	
100% CD REVIEW	
PERMIT	

REVISIONS

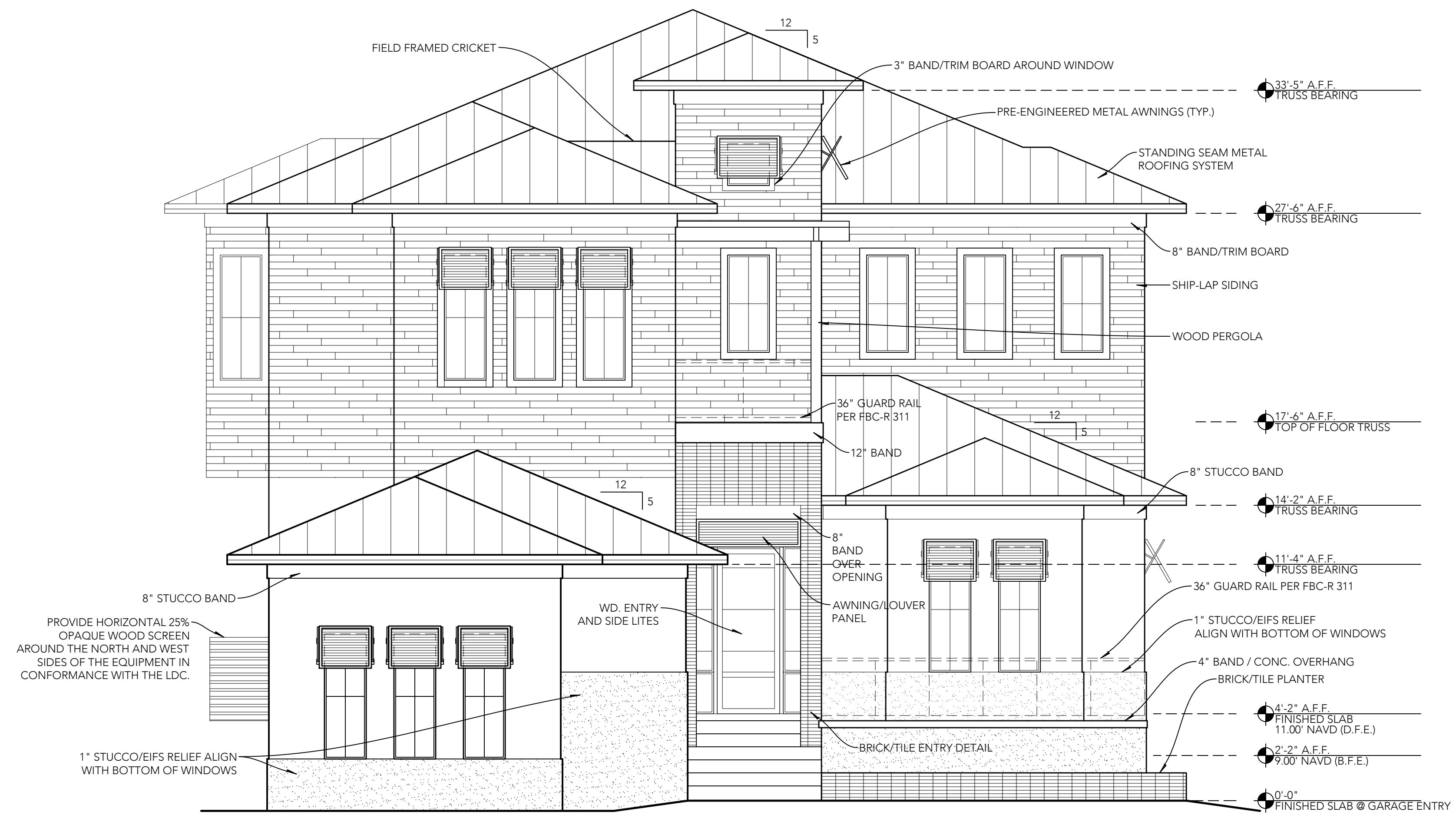
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STATUS:
 LOT SPLIT VARIANCE APP
 DRAWN BY:
GWM
 PRINTED DATE:
 3/30/2022
 SHEET ID:

L2-100
 PROJECT ID:
 MDS 22-03



North Elevation
Scale: 1/4" = 1'-0"



West Elevation
Scale: 1/4" = 1'-0"

PROJECT NAME / CLIENT:
BAYOU GRANDE LLC
 PROJECT ADDRESS:
 6201 BAYOU GRANDE BLVD NE
 ST. PETERSBURG, FL 33703
 CLIENT / CONTRACTOR:

DRAWING TITLE:
ELEVATIONS

ISSUANCES

VRB APP	CONCEPT	50% DD REVIEW	100% DD REVIEW	50% CD REVIEW	100% CD REVIEW	PERMIT

REVISIONS

NO.	DESCRIPTION
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STATUS:
 LOT SPLIT VARIANCE APP
 DRAWN BY:
GWM
 PRINTED DATE:
 3/30/2022
 SHEET ID:



2 South Elevation
Scale: 1/4" = 1'-0"



1 East Elevation
Scale: 1/4" = 1'-0"

ISSUANCES

VRB APP	CONCEPT	50% DD REVIEW	100% DD REVIEW	50% CD REVIEW	100% CD REVIEW	PERMIT

REVISIONS

NO.	DESCRIPTION
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LOT 2

6201 BAYOU GRANDE BLVD NE

ST. PETERSBURG, FL 33703

1ST LEVEL: 2442 SF
 2ND LEVEL: 2665 SF
 TOTAL A/C: 5107 SF
 LOT AREA: 10348 SF
 BUILDING COVERAGE: 4038 SF = 39%
 IMPERVIOUS COVERAGE: 6208 SF = 60%

PROJECT NAME / CLIENT:
BAYOU GRANDE LLC
 PROJECT ADDRESS:
 6201 BAYOU GRANDE BLVD NE
 ST. PETERSBURG, FL 33703
 CLIENT / CONTRACTOR:

DRAWING TITLE:
ARCHITECTURAL SITE PLAN

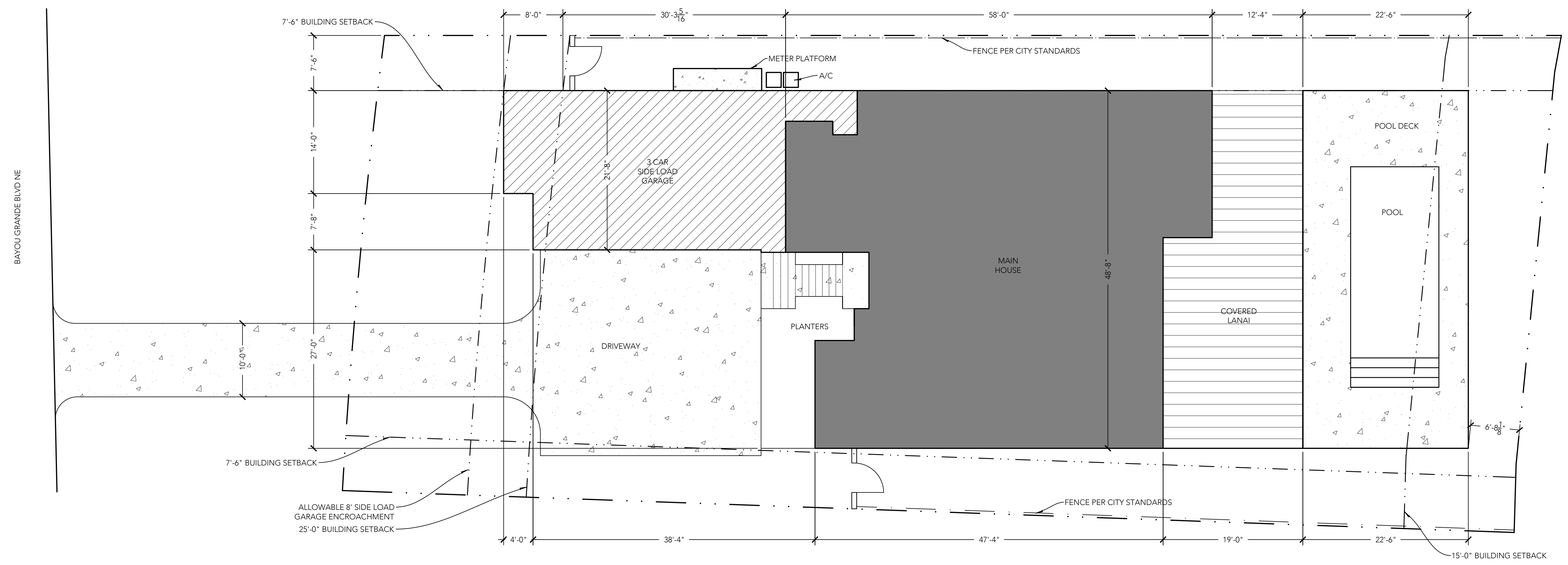
ISSUANCES

VRB APP	
CONCEPT	
50% DD REVIEW	
100% DD REVIEW	
50% CD REVIEW	
100% CD REVIEW	
PERMIT	

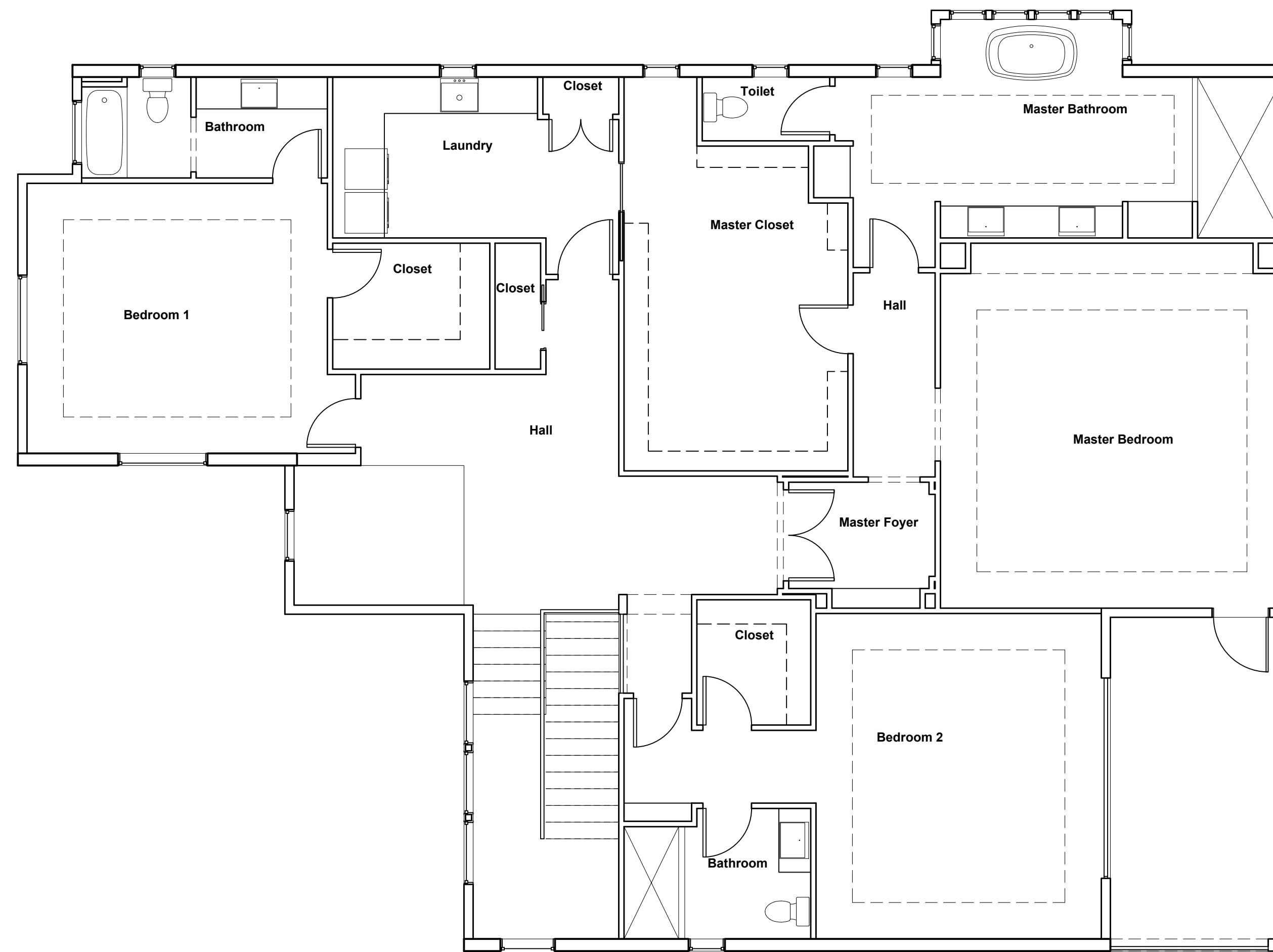
REVISIONS

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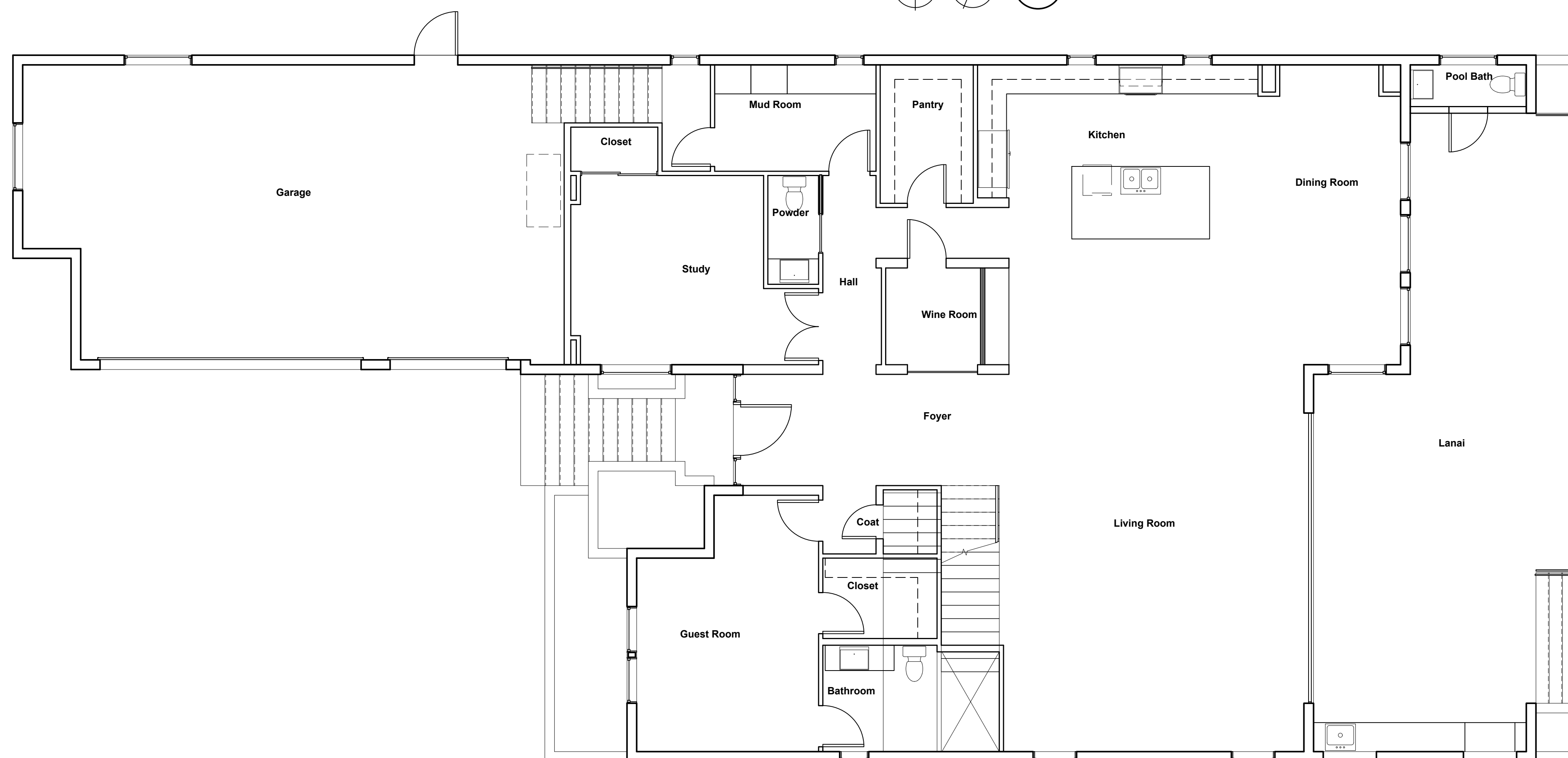
STATUS:
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 DRAWN BY:
GWM
 PRINTED DATE:
 3/30/2022
 SHEET ID:
L2-010
 PROJECT ID:
 MDS 22-03



1 ARCHITECTURAL SITE PLAN
 SCALE: 1/8" = 1'-0"



2 LEVEL 2 FLOOR PLAN
SCALE: 3/16" = 1'-0"



1 LEVEL 1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

DESIGNED / DRAWN BY:

 McKay Design Studio
 1200 Palm Blvd., Dunedin, Florida 34608, 813.757.8927 © 2022

PROJECT NAME / CLIENT:
BAYOU GRANDE LLC

PROJECT ADDRESS:
 6201 BAYOU GRANDE BLVD NE
 ST. PETERSBURG, FL 33703
 CLIENT / CONTRACTOR:

DRAWING TITLE:
FLOOR PLANS

ISSUANCES	
VRB APP	
CONCEPT	
50% DD REVIEW	
100% DD REVIEW	
50% CD REVIEW	
100% CD REVIEW	
PERMIT	

REVISIONS	
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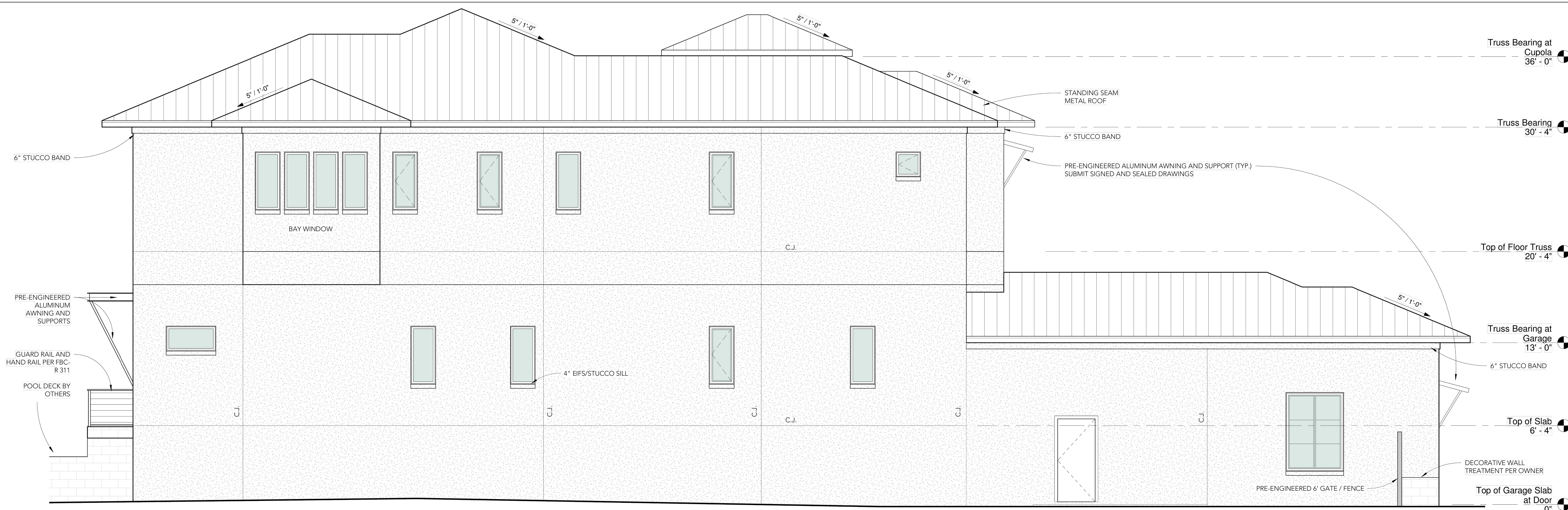
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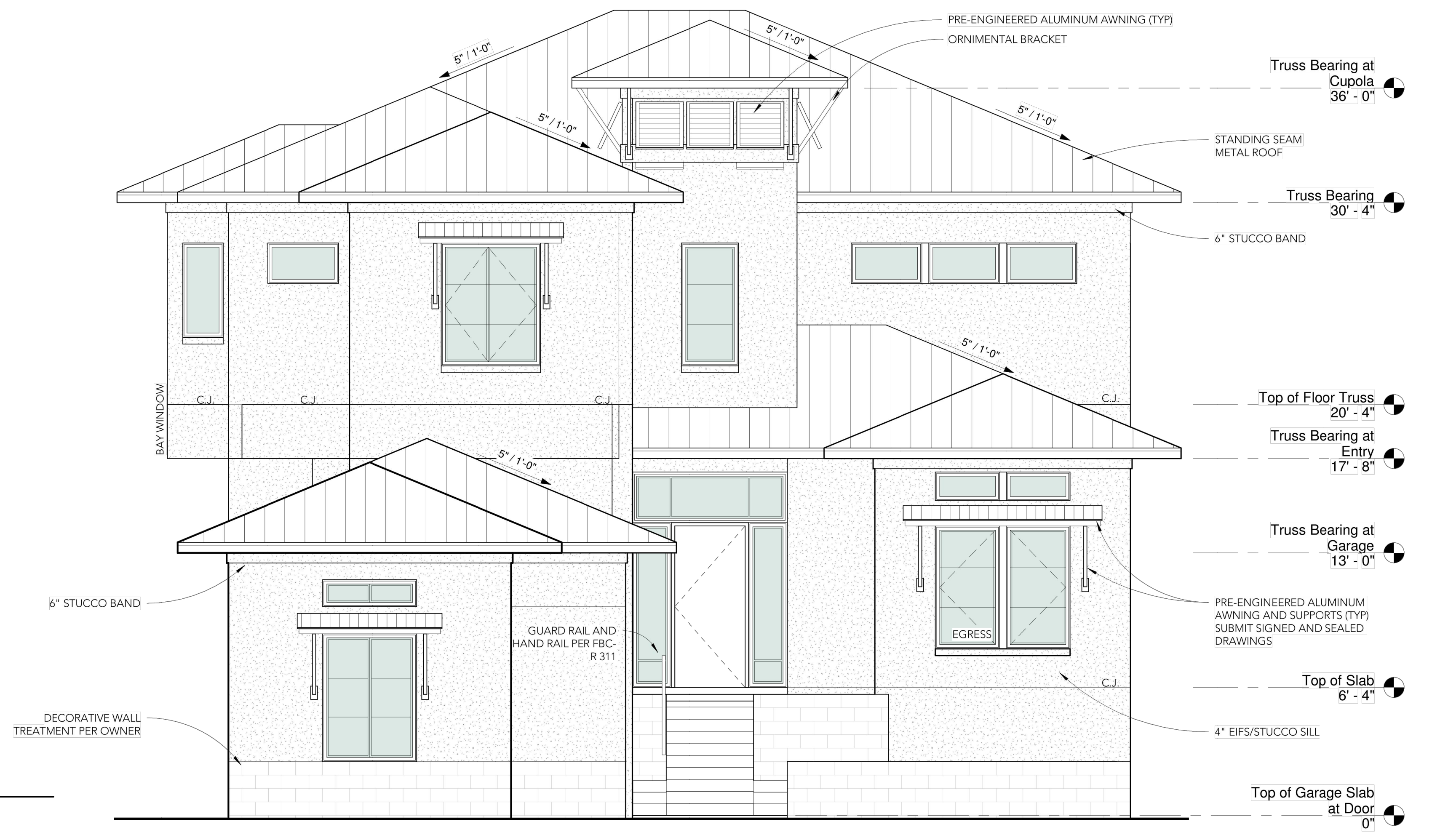
PRINTED DATE:
 3/30/2022

SHEET ID:
L2-100

PROJECT ID:
 MDS 22-03



2 NORTH ELEVATION
SCALE: 1/4"=1'-0"



1 WEST ELEVATION
SCALE: 1/4"=1'-0"

DESIGNED / DRAWN BY: **MDS**
Melroy Design Studio
 1200 Palm Bluff, Dunedin, Florida 34608, 813.751.8927
 © 2022

PROJECT NAME / CLIENT:
BAYOU GRANDE LLC

PROJECT ADDRESS:
 6201 BAYOU GRANDE BLVD NE
 ST. PETERSBURG, FL 33703

CLIENT / CONTRACTOR:

DRAWING TITLE:
ELEVATIONS

ISSUANCES

VRB APP	
CONCEPT	
50% DD REVIEW	
100% DD REVIEW	
50% CD REVIEW	
100% CD REVIEW	
PERMIT	

REVISIONS

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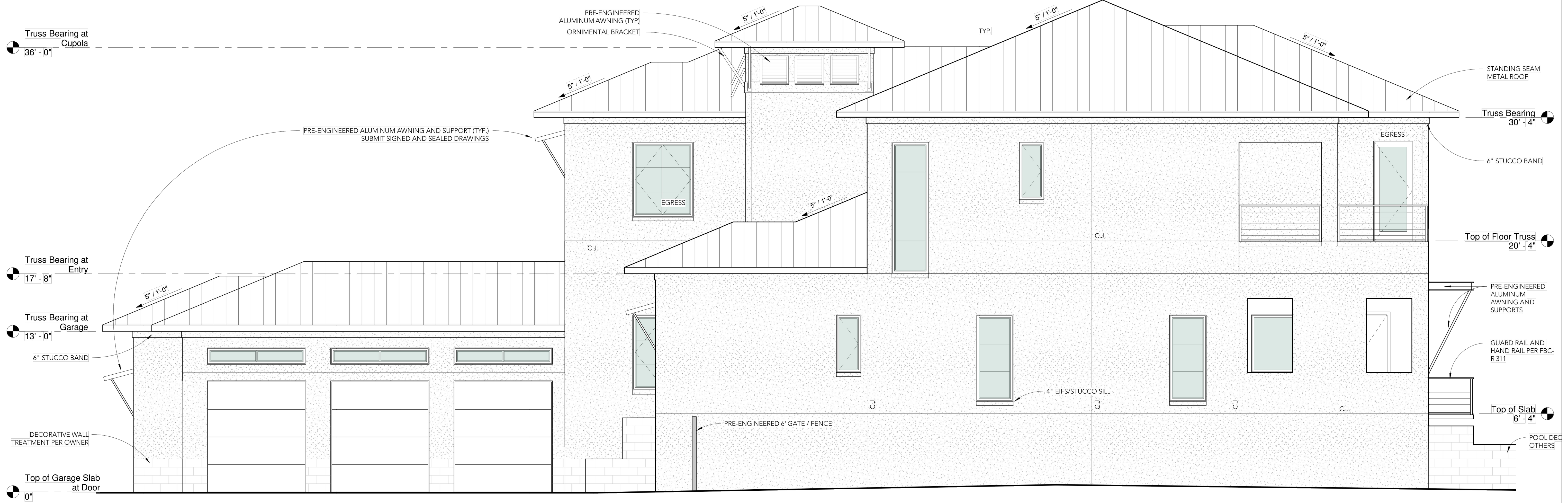
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DRAWN BY:
GWM

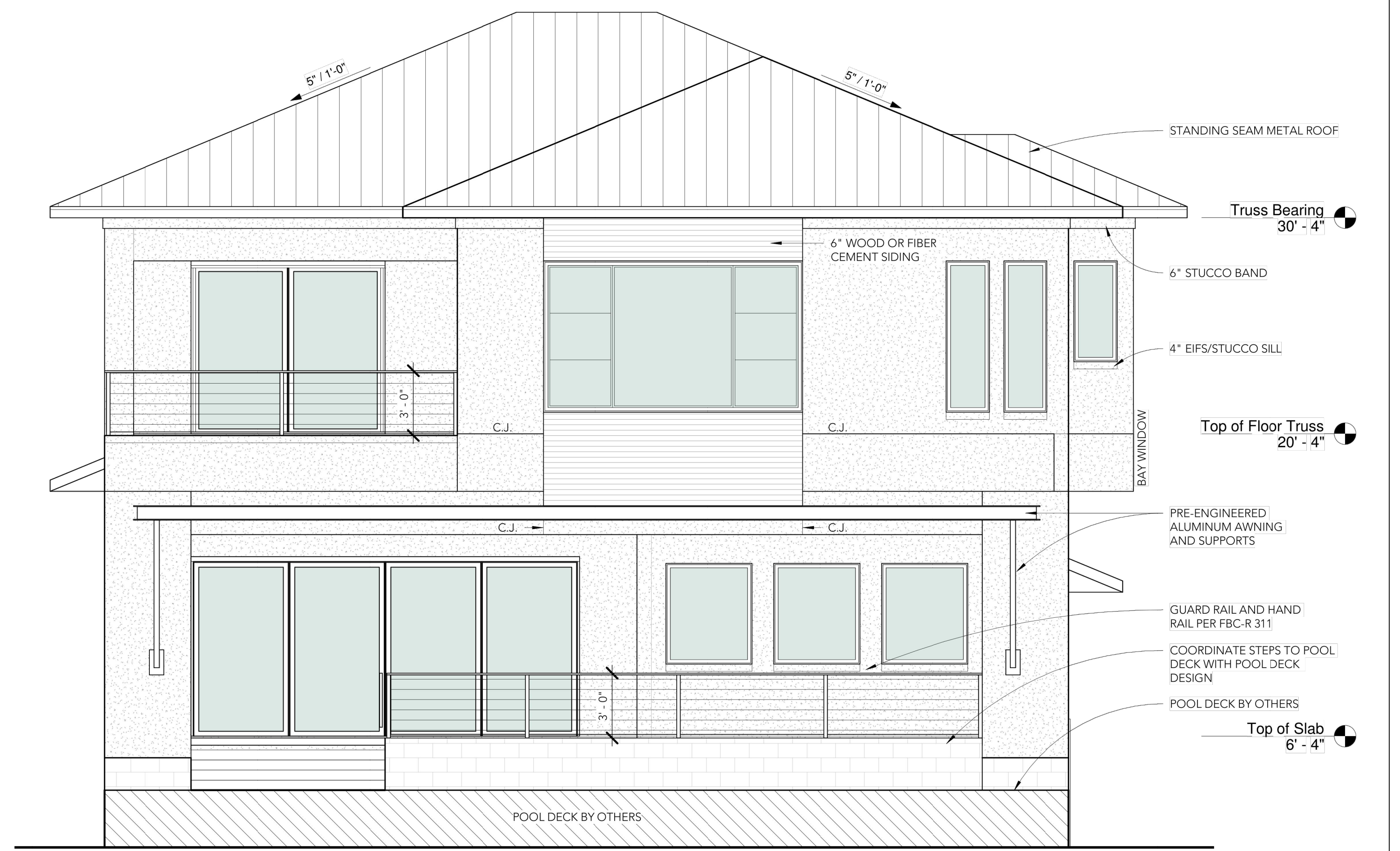
PRINTED DATE:
 3/30/2022

SHEET ID:
L2-400

PROJECT ID:
 MDS 22-03



2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



1 EAST ELEVATION
SCALE: 1/4"=1'-0"

PROJECT NAME / CLIENT:
BAYOU GRANDE LLC
 PROJECT ADDRESS:
 6201 BAYOU GRANDE BLVD NE
 ST. PETERSBURG, FL 33703
 CLIENT / CONTRACTOR:

DRAWING TITLE:
ELEVATIONS

ISSUANCES

VRB APP	
CONCEPT	
50% DD REVIEW	
100% DD REVIEW	
50% CD REVIEW	
100% CD REVIEW	
PERMIT	

REVISIONS

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STATUS:
 LOT SPLIT VARIANCE APP
 DRAWN BY:
GWM
 PRINTED DATE:
 3/30/2022
 SHEET ID:
L2-401
 PROJECT ID:
 MDS 22-03

ATTACHMENT - E

MEMORANDUM
CITY OF ST. PETERSBURG
ENGINEERING & CAPITAL IMPROVEMENTS DEPARTMENT (ECID)

TO: Cheryl Bergailo, Planner II

FROM: Kyle Hurin

THRU: Nancy Davis

DATE: May 5, 2022

SUBJECT: Lot Line Adjustment

ADDRESS & PIN: 6201 Bayou Grande Boulevard Northeast
33-30-17-81234-001-0010

FILE: 22-11000008 **ATLAS:** B-34

REQUEST: Approval of a Lot Line Adjustment with variance to lot width to create two (2) buildable lots.

The Engineering and Capital Improvements Department (ECID) has no objection to the proposed Lot Line Adjustment provided the following special conditions and standard comments are added as conditions of approval:

SPECIAL CONDITIONS OF APPROVAL:

1. Upon development or redevelopment, the applicant is required to provide connection to the public sanitary sewer for each proposed lot. City Sanitary Sewer utility atlas map B-34 indicates an existing sanitary sewer lateral is available within Bayou Grande Blvd NE to service the northern lot at a location 90' to the north of public sanitary sewer manhole B34-135. One existing sanitary sewer lateral is available within Bayou Grande Blvd NE, to serve the southern lot at a location 29-feet to the north of public manhole B34-135.

New connections to the public sanitary sewer shall be constructed per City ECID standard detail S30-6 (Gravity Sewer Service Lateral for "Deep" Sewers), S30-08 (Clean Out for Non-Traffic Areas), and S30-09 (Clean Out Concrete Box). Note that the public clean-out & clean out box must be located just inside the public right of way at the property boundary.

All construction shall meet current City ECID standards and specifications. An ECID right of way permit is required for all construction in the public right of way or within public utility easement and for connection to the public sanitary sewer or storm sewer.

2. The applicant is required to provide potable water service to each proposed lot upon development or redevelopment if not existing. The City shall install necessary potable water services (up to and including the necessary meter and backflow prevention device) as required to service the proposed lots at the sole expense of the applicant/property owner.

3. Upon development or redevelopment, public sidewalks are required by City of St. Petersburg Municipal Code Section 16.40.140.4.2 unless specifically limited by the DRC approval conditions or a sidewalk variance is obtained from the City's Zoning division. Within the NS-1 zoning district, a 4-foot wide public sidewalk is required along the north side of 62nd Avenue NE.

Existing sidewalks and new sidewalks will require curb cut ramps for physically handicapped and truncated dome tactile surfaces (of contrasting color to the adjacent sidewalk, colonial red color preferred) at all corners or intersections with roadways that are not at sidewalk grade and at each side of proposed and existing driveways per current City and ADA requirements. Concrete sidewalks must be continuous through all driveway approaches. All existing public sidewalks must be restored or reconstructed as necessary to be brought up to good and safe ADA compliant condition prior to Certificate of Occupancy.

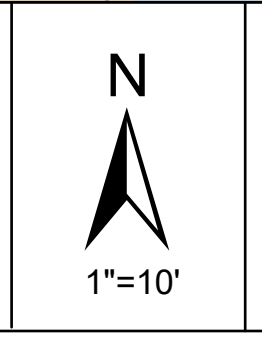
4. A work permit issued by the City Engineering & Capital Improvements Department must be obtained prior to the commencement of construction within City controlled right-of-way or public easement and for connection to the public sanitary sewer. All work within right of way or public utility easement shall be in compliance with current City Engineering Standards and Specifications and shall be installed at the applicant's expense in accordance with the standards, specifications, and policies adopted by the City.

NED/m1k

ec: Sean McWhite – WRD
Kayla Eger – Development Review Services



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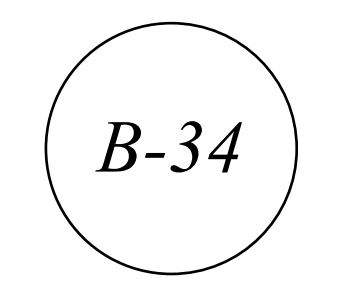
- Sewer Manholes
- Sewer Manholes (Private)
- C Sewer Clean Outs
- LS Sewer Lift Stations
- AR Sewer Air Vacuum Release

SANITARY SEWER UTILITY ATLAS SHEET

ENGINEERING & CAPITAL IMPROVEMENTS DEPARTMENT
 CITY OF ST PETERSBURG, FLORIDA



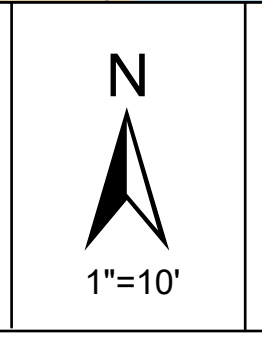
SECTION 33 TOWNSHIP 30 RANGE 17
 NOTE: PARCEL BASE FROM PINELLAS COUNTY PROPERTY APPRAISERS OFFICE. REFER TO PINELLAS COUNTY OWNERSHIP MAP FOR PLATTED INFORMATION. SEE ORIGINAL PLATS FOR NOTES, CODICILS AND COMPLETE DIMENSIONS.
 DATE PRINTED: 3/8/2022



Document Path: S:\MCD\Atlas Sheets\Atlas Sheet\Auto\Atlas Sheet_Landscape D.mxd



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Potable Fire Services	Injection Well	Monitoring Well	Auto Flushing Unit	Tower	End Cap (Plug); Cap	Hydrant Single	Potable Pumps	Air Release
Monitoring Well	Auto Flushing Unit	Tower	End Cap (Plug); Cap	Hydrant Single	Potable Pumps	Air Release	Backflow Control	Blow-off Valve
Auto Flushing Unit	Tower	End Cap (Plug); Cap	Hydrant Single	Potable Pumps	Air Release	Backflow Control	Blow-off Valve	Double Check
Auto Flushing Unit	Tower	End Cap (Plug); Cap	Hydrant Single	Potable Pumps	Air Release	Backflow Control	Blow-off Valve	Potable Mains

POTABLE UTILITY ATLAS SHEET

ENGINEERING & CAPITAL IMPROVEMENTS DEPARTMENT
 CITY OF ST PETERSBURG, FLORIDA

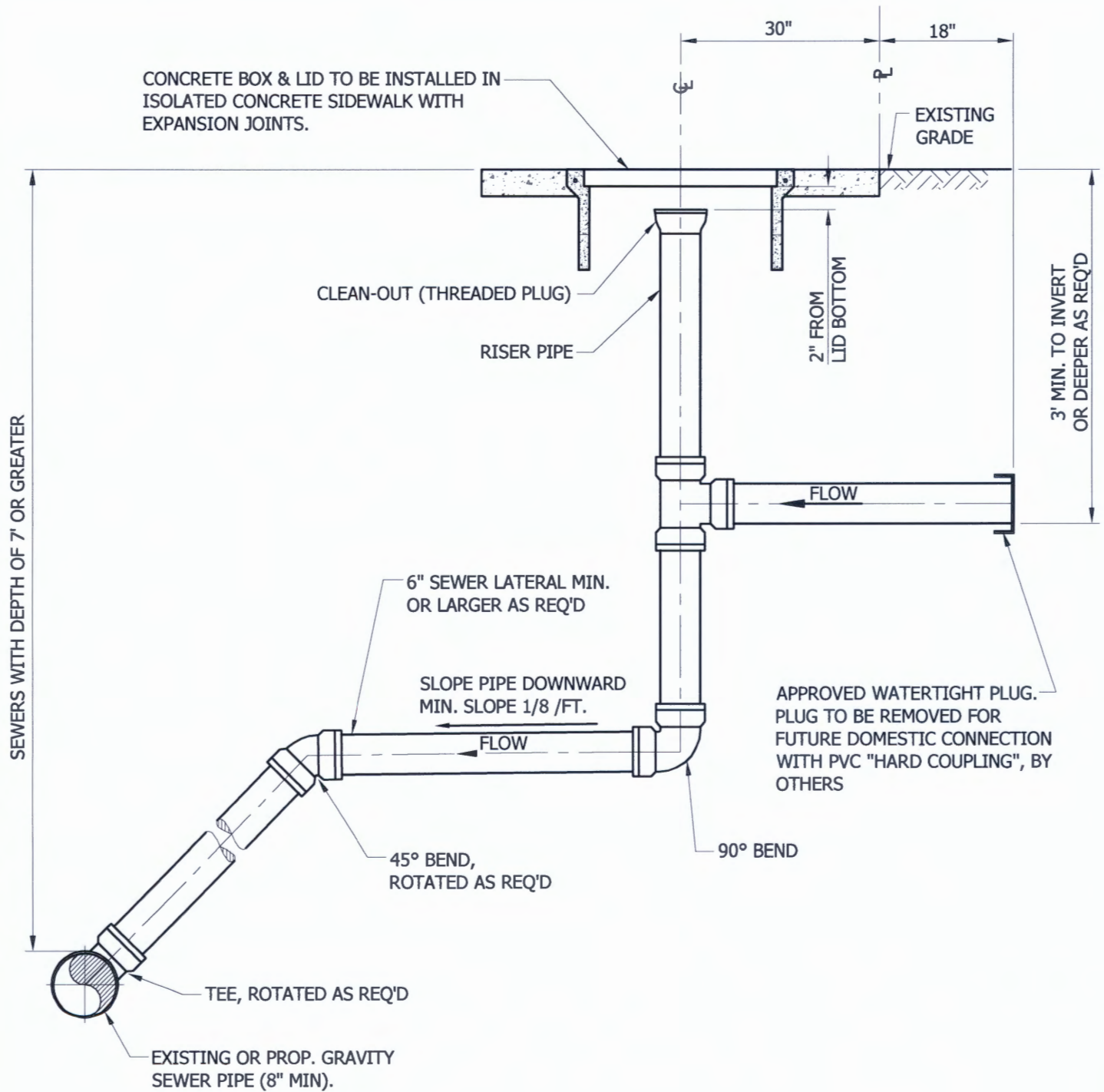


SECTION 33 TOWNSHIP 30 RANGE 17

NOTE: PARCEL BASE FROM PINELLAS COUNTY PROPERTY APPRAISERS OFFICE. REFER TO PINELLAS COUNTY OWNERSHIP MAP FOR PLATTED INFORMATION. SEE ORIGINAL PLATS FOR NOTES, CODICILS AND COMPLETE DIMENSIONS.

DATE PRINTED: 3/9/2022

B-34



SECTION **A**
N.T.S.

CITY STANDARDS

GRAVITY SEWER SERVICE LATERAL
FOR "DEEP" SEWERS

REVISIONS	
BY	DATE



ENGINEERING AND CAPITAL
IMPROVEMENT DEPARTMENT
CITY OF ST. PETERSBURG

SCALE: N.T.S.

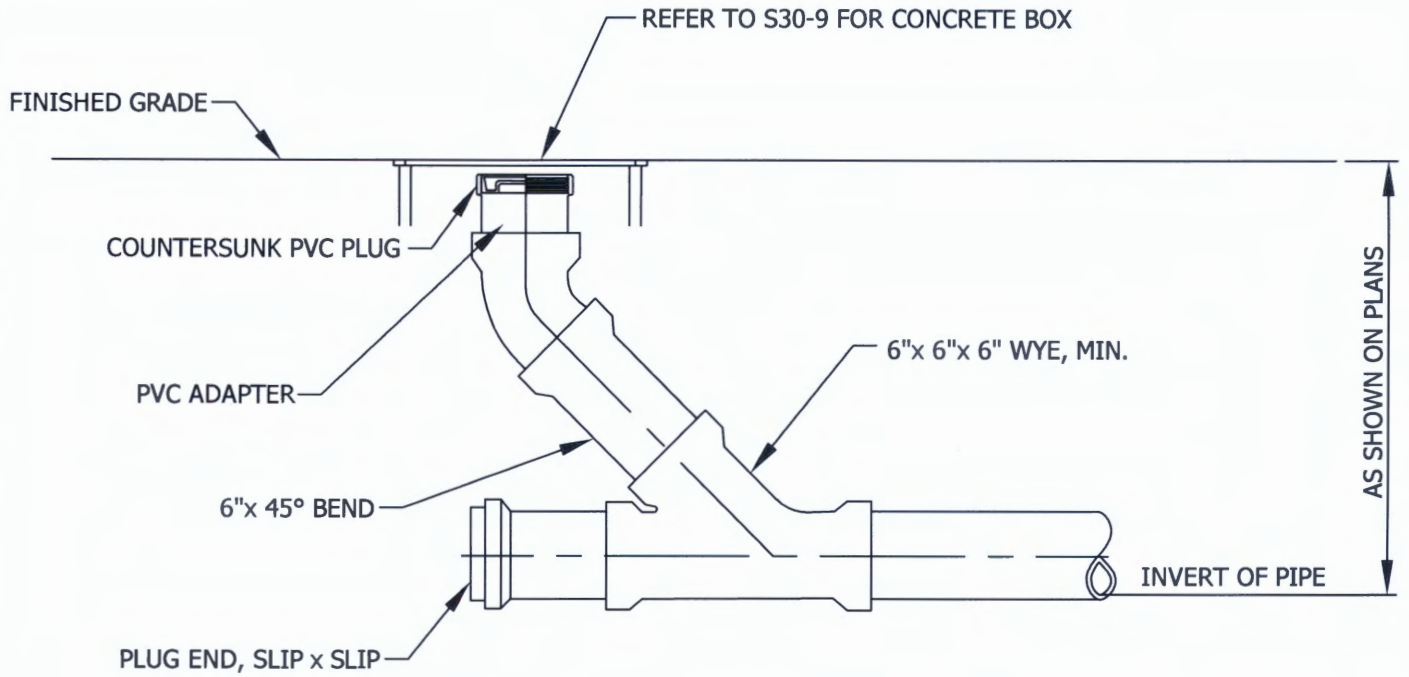
APPROVED BY:

Brjesh Prayman
DIRECTOR

DATE: OCT. 2019

DWG. No. **S30-6**

C:\Users\HACasals\AppData\Local\Temp\AcPublish_13344\S30-08.dwg HACasals Thu, 05 Dec 2019 - 10:11am



TYPICAL SECTION VIEW



PVC ADAPTER
SLIP x THREAD



PLUG
SECTION VIEW



PLUG
PLAN VIEW

NOTES:

1. THIS SANITARY CLEAN OUT IS TO BE USED IN SODDED AREAS ONLY THAT ARE NOT ACCESSIBLE TO VEHICULAR TRAFFIC.
2. PLUG SHALL CONFORM TO THE SPECIFICATIONS AND SHALL HAVE A GASKET.
3. WYE SHALL CONFORM TO ASTM D-3034, & NSF STANDARD #14.

CITY STANDARDS

REVISIONS	
BY	DATE



ENGINEERING AND CAPITAL
IMPROVEMENT DEPARTMENT
CITY OF ST. PETERSBURG

SCALE: N.T.S.

**SANITARY SEWER CLEAN OUT
FOR NON TRAFFIC AREAS DETAIL**

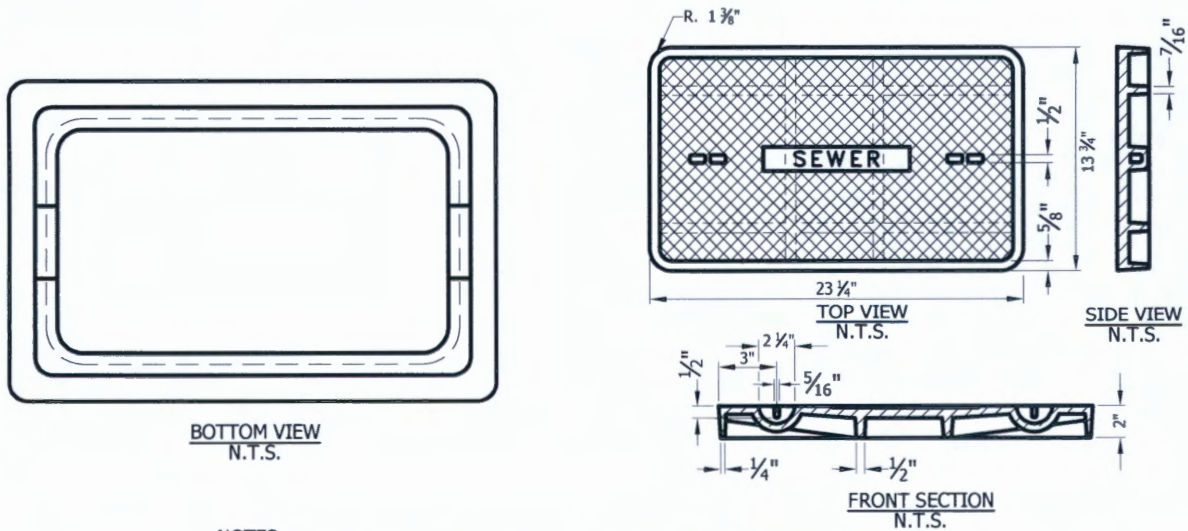
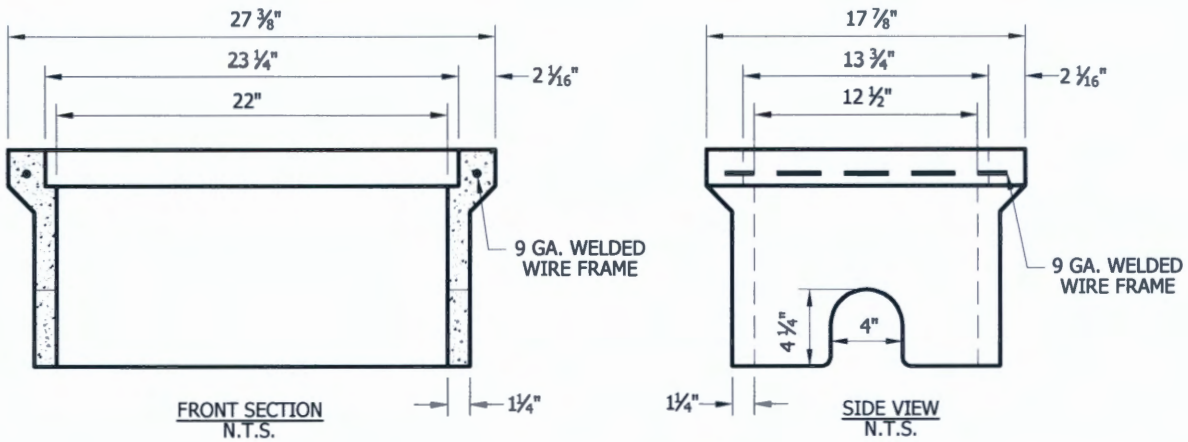
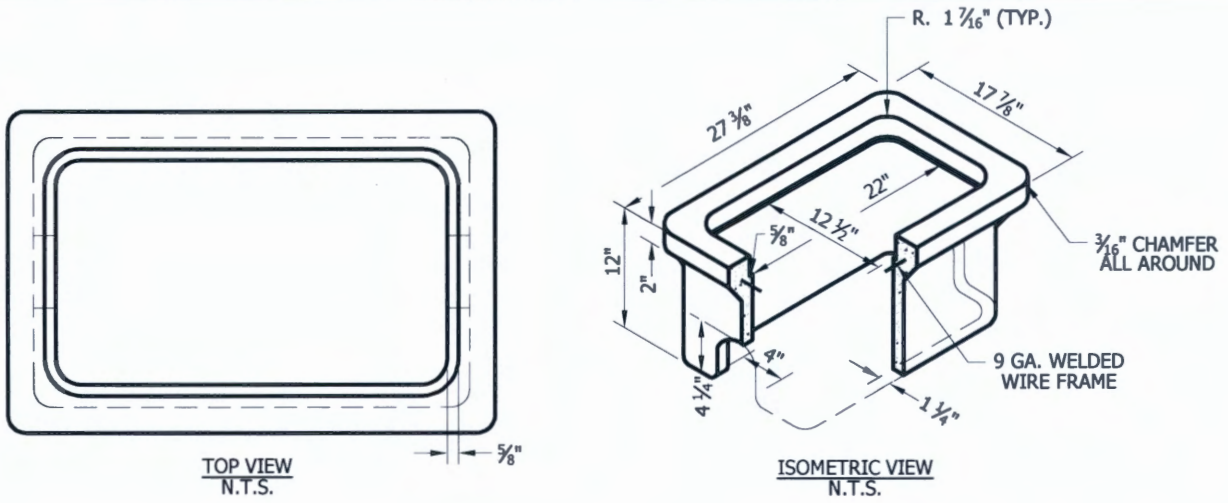
APPROVED BY:

Brjesh Prayman
DIRECTOR

DATE: OCT. 2019

DWG. No.

S30-8



- NOTES**
1. CAST IRON LID TO BE A MODIFIED VERSION OF USF No. 7715 (OR EQUIVALENT) WITHOUT BOLT HOLES, MARKED "SEWER" AND A.D.A. COMPLIANT FOR USE IN SIDEWALKS. LID WT. APPROX. 55 LBS

CITY STANDARDS

SANITARY SEWER CLEAN-OUT CONCRETE BOX DETAIL



ENGINEERING AND CAPITAL
 IMPROVEMENT DEPARTMENT
 CITY OF ST. PETERSBURG

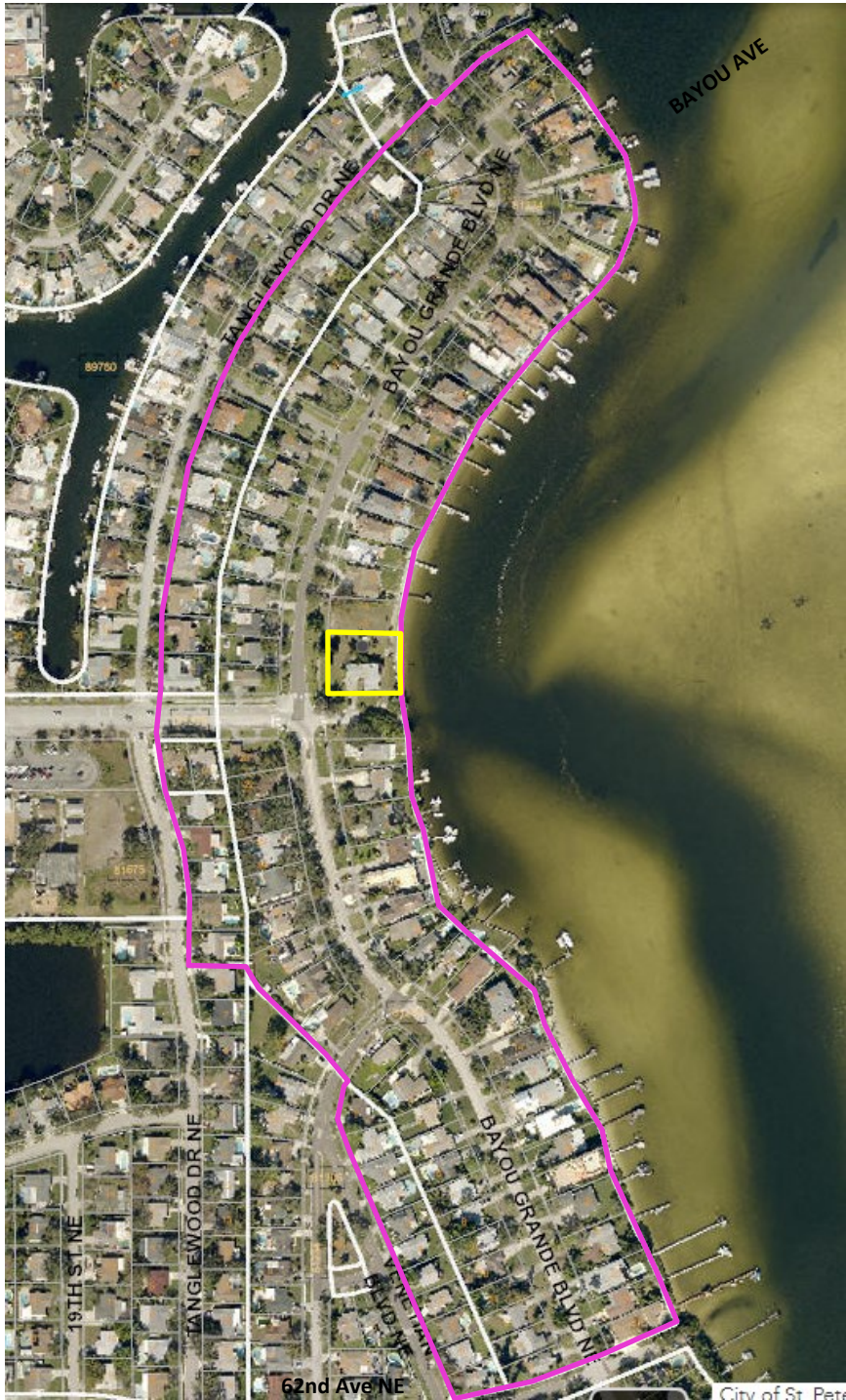
APPROVED BY:

Erjesh Prayman
DIRECTOR



DATE: OCT. 2019

DWG. No. **S30-9**

SCALE: N.T.S.



Legend:

-  Study area boundary
-  Subject property

ATTACHMENT—F
Overall Study Area Map



**ATTACHMENT - G
Tabular Lot Analysis**

Overall Study Area

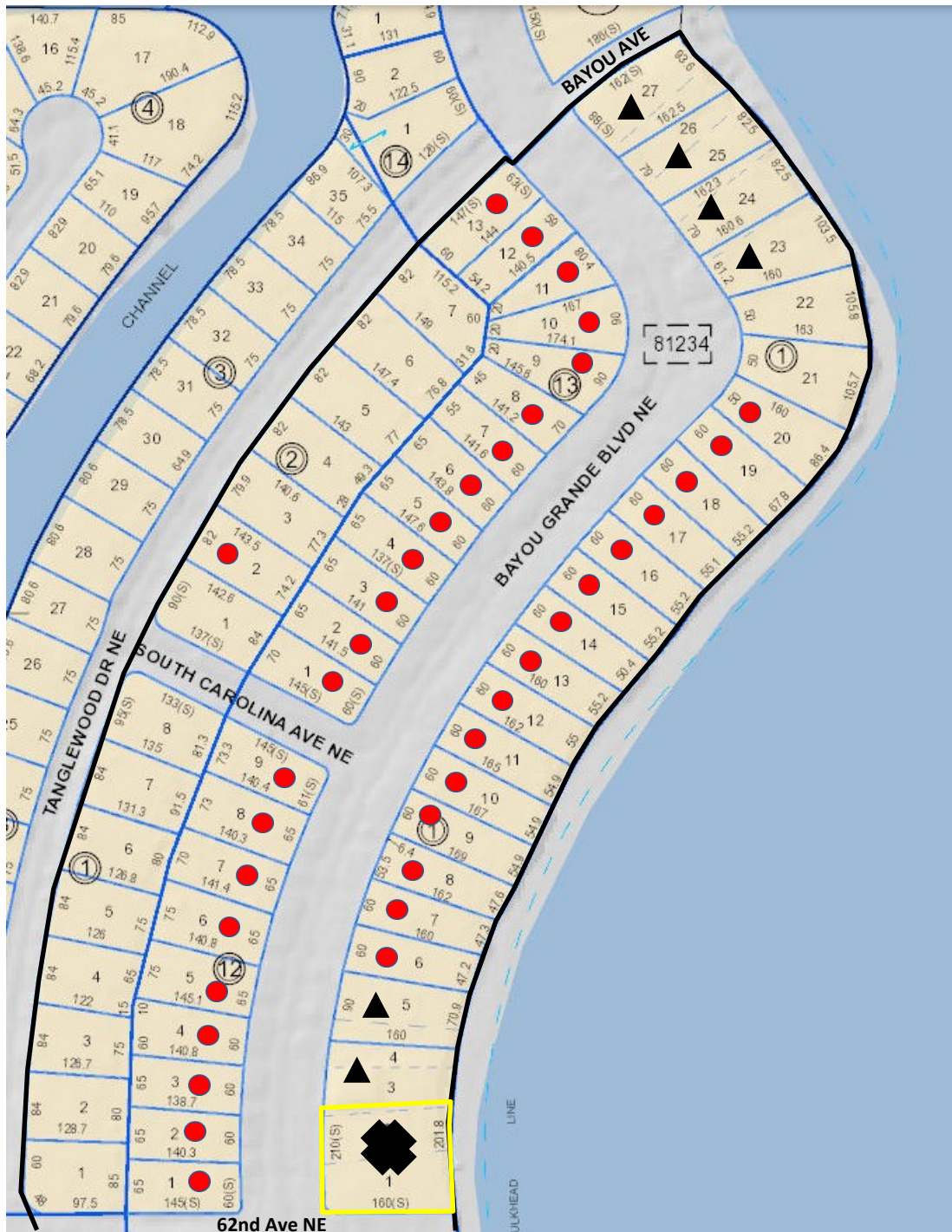
Block	Conforming	# Substandard	% Substandard	# One House per Platted Lot	# One House on More Than One Lot	% One Per Platted Lot
Subject Block 1	8	15	65%	17	6	74%
Block 13	0	13	100%	13	0	100%
Block 2 (Tanglewood)	6	1	14%	7	0	100%
Block 12	0	9	100%	9	0	100%
Block 1 (Tanglewood)	8	0	0%	8	0	100%
Block 2 (Bayou Grande)	5	17	77%	16	6	73%
Block 11	7	2	22%	3	6	33%
Block A	5	2	29%	7	0	100%
Block 9	1	12	92%	12	1	92%
Block B	0	11	100%	11	0	100%
Average			60%			87%

Bayou Grande Blvd. NE Frontage Lots

Block	Conforming	# Substandard	% Substandard	# One House per Platted Lot	# One House on More Than One Lot	% One Per Platted Lot
Subject Block 1	8	15	65%	17	6	74%
Block 13	0	13	100%	13	0	100%
Block 12	0	9	100%	9	0	100%
Block 2 (Bayou Grande)	5	17	77%	16	6	73%
Block 11	7	2	22%	3	6	33%
Block 9	1	12	92%	12	1	92%
Average			76%			79%

Bayou Grande Blvd. NE Frontage Lots North of 62nd Ave. NE

Block	Conforming	# Substandard	% Substandard	# One House per Platted Lot	# One House on More Than One Lot	% One Per Platted Lot
Subject Block 1	8	15	65%	17	6	74%
Block 13	0	13	100%	13	0	100%
Block 12	0	9	100%	9	0	100%
Average			88%			91%



Legend:

- Substandard lot width
- ▲ One house on more than one lot
- Study area boundary
- ◆ Subject property

ATTACHMENT—H

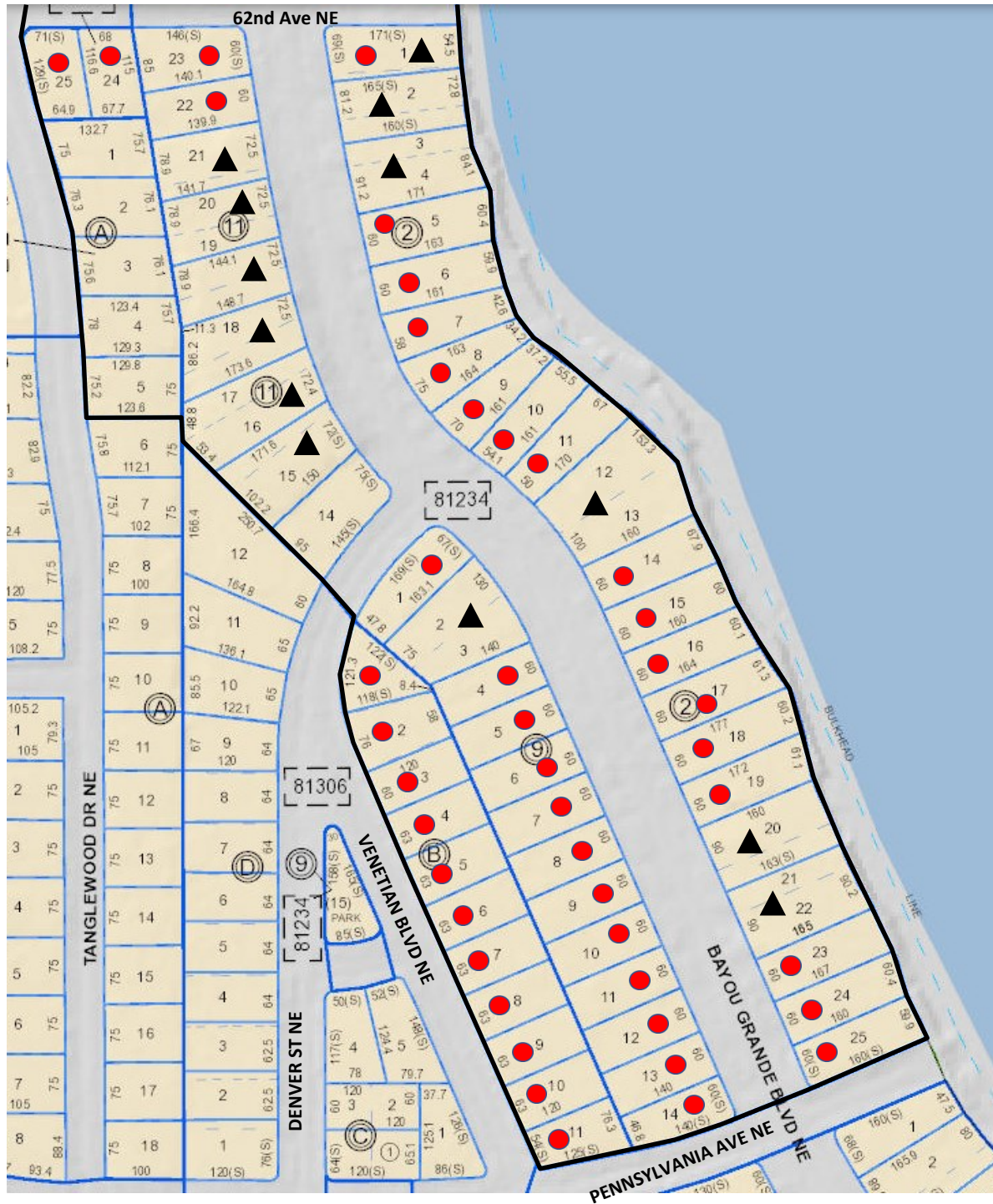
Map Analysis North of 62nd Avenue NE



N



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www.stpete.org



Legend:

- Substandard lot width
- ▲ One house on more than one lot
- Study area boundary
- ◆ Subject property

ATTACHMENT—H

**Map Analysis
South of 62nd Avenue NE**



N



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Aerial view of site and surrounding lots from the east.

Image from Bing maps.



Aerial view of site and surrounding lots from the south.

Image from Bing maps.